



Willows Planning Commission Meeting

January 7, 2025
Willows City Hall
6:00 PM

Planning Commission
Pedro Bobadilla, Chair
Maria Ehorn, Vice Chair
Vacant, Commissioner
Llanira Valencia, Commissioner
Sherry Brott, Commissioner

City Planner
Delainie Garlick

City Clerk
Tara Rustenhoven

201 North Lassen Street
Willows, CA 95988
(530) 934-7041

Agenda

Watch online via Zoom: <https://us06web.zoom.us/j/83167108638>

Remote viewing of the Planning Commission meeting for members of the public is provided for convenience only. In the event that the remote viewing connection malfunctions for any reason, the Planning Commission reserves the right to conduct the meeting without remote viewing.

1. **CALL TO ORDER**

2. **PLEDGE OF ALLEGIANCE**

3. **ROLL CALL**

4. **CHANGES TO THE AGENDA**

5. **PUBLIC COMMENT & CONSENT CALENDAR FORUM**

All matters on the Consent Calendar are considered routine and are approved by one motion and vote unless Commission Members or the City Planner first requests that a matter be removed for separate discussion and action. Individuals wishing to address the Commission concerning Consent Calendar items or regarding matters that are not already on the agenda are invited to make oral comments of up to three minutes at this time. Please address your comments to the Chairman and Commission members, and not to staff and/or the audience. By State law, the Commission is not permitted to undertake any action or discussion on any item not appearing on the posted agenda. If you have any documentation that you would like distributed to the Commission, please mail it to the City Planner at 201 North Lassen Street, Willows, CA 95988 or email it to: planning@cityofwillows.org.

6. **PUBLIC HEARING**

All matters in this section of the agenda are formal public hearings and will be acted on individually. Once the Chair opens the public hearing, members of the public may request to speak. When you are called on by the Chair, please state your name clearly for the audio recording. If you have any documentation that you would like to be distributed to the Commission, please give it to the City Planner for distribution.

a. **Design Review/ File #DR-24-07/ 470 N. Airport Road**

Recommended Action: Staff recommends the Commission receive the Staff Report, attachments, discuss, and upon conclusion, consider adoption of the attached Resolution.

Contact: planning@cityofwillows.org

b. **Minor Use Permit File# MUP-24-03 & Design Review File# DR-24-08/ 470 N. Airport Road**

Recommended Action: Staff recommends the Commission receive the Staff Report, attachments, discuss, and upon conclusion, consider adoption of the attached Resolution.

Contact: planning@cityofwillows.org

c. **Design Review/ File #DR-24-09/ 175 N. Villa Avenue**

Recommended Action: Staff recommends the Commission receive the Staff Report, attachments, discuss, and upon conclusion, consider adoption of the attached Resolution.

Contact: planning@cityofwillows.org

d. **Amend Use Permit/ File #UP-24-02A/ 361 W. Sycamore Street**

Recommended Action: Staff recommends the Commission receive the Staff Report, attachments, discuss, and upon conclusion, consider adoption of the attached Resolution.

Contact: planning@cityofwillows.org

e. **Design Review/ File# DR-24-06/ 900 S. Tehama Street**

Recommended Action: Staff recommends the Commission receive the Staff Report, attachments, discuss, and upon conclusion, consider adoption of the attached Resolution.

Contact: planning@cityofwillows.org

7. COMMENTS & REPORTS

- a. Commission Comments & Reports
- b. Staff Comments & Reports

8. ADJOURNMENT

This agenda was posted on January 4, 2025.

Tara Rustenhoven, City Clerk

A complete agenda packet, including staff reports and back-up information, is available for public inspection during normal work hours at City Hall or the Willows Public Library at 201 North Lassen Street in Willows or on the City's website at www.cityofwillows.org.

In compliance with the Americans with Disabilities Act, the City of Willows will make available to members of the public any special assistance necessary to participate in this meeting. If requested, the agenda shall be made available in appropriate alternative formats to persons with a disability, as required by Section 202 of the Americans with Disabilities Act of 1990 (42 U.S.C. Sec. 12132). The public should contact the City Clerk's office at 934-7041 to make such a request. Notification 72 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting.

The City of Willows is an Equal Opportunity Provider



PUBLIC COMMENT & CONSENT CALENDAR FORUM



PUBLIC HEARING



Date: January 7, 2025

To: Planning Commission

From: Jessica Shull, Contract Planner, Harris & Associates

Subject: Walmart/ Design Review (File# DR-24-07)/ 470 N. Airport Road

Recommendation:

Staff recommends the Commission receive the Staff Report, attachments, discuss, and upon conclusion, consider adoption of the attached resolution.

Rationale for Recommendation:

The City of Willows Municipal Code (WMC) Section 18.141.030, states *"All new buildings, structures and other physical improvements and any relocation or exterior addition, extension, or change of or to existing buildings, structures and other physical improvements shall be subject to design review, whether or not a building permit is required."*

Additionally, section 18.141.060 outlines the criteria for design review approval, encompassing building design, site relationship, neighborhood compatibility, material selection, site improvements, and operational considerations.

Per Section 18.141.070 of the WMC, an application for design review may be approved, approved with modifications, conditionally approved or disapproved.

Background:

The applicant Kimley-Horn & Associates, Inc. representing Walmart (property owner) is seeking Design Review approval to complete external civil work at the property located at 470 N. Airport Road, identified by Accessor Parcel Number (APN): 017-210-052 (Site; See Figure 1). The Site is located in the CG/ML/PD: General Commercial/ Light Manufacturing/ Planned Development zoning district.



Figure 1: Location

Discussion & Analysis:

The project site is located within a Planned Development (PD) Combining District which allows for a variety of uses per WMC Section 18.105.020. This district allows for a more flexible, planned approval to land use. This zoning district acts as an overlay top of the underlying zoning district, meaning it retains the uses permitted by the base zoning while also allowing for additional uses as approved.

The Applicant proposes a series of external civil changes to the property focused primarily on the west side of the property in the parking lot. Modifications will be made to the stores' online pickup area including updated signage on the west side of the property, shifting of parking lot stalls 7 feet west to accommodate a wider drive aisle, relocation of an existing light pole and items to maintain existing drainage patterns. The Applicant is also proposing site accessibility improvements in the parking lot including improving accessible parking stalls as well as the accessible path of travel and restriping the paths of travel to meet current standards. Striping to include crosswalks, stop bars, centerlines and directional arrows will be restriped to meet Walmart's current standards.

The proposed changes will result in a reduction of parking stalls but will still meet the requirements per WMC 18.120.020 with a total number of spaces of 538.

The surrounding visual characteristics consists of the following:

- West: Agricultural land (orchard).
- South: Willows-Glenn County Airport. A series of metal industrial buildings.
- East: Interstate 5.

- North: A water tower. Beyond that is more agricultural land.

The proposed changes are minor in nature and align with the design review criteria set forth in WMC 18.141.060, which includes factors such as site relationship, neighborhood compatibility, and operational considerations. These modifications have been designed to enhance the accessibility and usability of the site for the public. As a result, the proposed changes comply with all relevant regulations and guidelines. Given these considerations, the modifications are recommended for approval as the proposed modifications to the site are in compliance with all applicable regulations and guidelines.

Consistency with Council Priorities and Goals:

The project is consistent with Priority #4: Community Engagement as the project would offer an opportunity for public input and engagement, allowing residents to share their thoughts and concerns during a public hearing.

Fiscal Impact:

There is no cost to the City associated with this request as the project has a PTA deposit on file.

Attachments:

- Attachment 1: Resolution XX-2025
- Attachment 2: Conditions of Approval
- Attachment 3: Site Plan
- Attachment 4: Design Review Analysis
- Attachment 5: Civil Scope Narrative



**City of Willows
Resolution XX-2025**

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF WILLOWS GRANTING THE DESIGN REVIEW APPROVAL OF DESIGN REVIEW (FILE # DR-24-07) TO WALMART FOR MINOR EXTERNAL CIVIL SITE WORK INCLUDING SITE ACCESSIBILITY IMPROVEMENTS FOR THE PROPERTY LOCATED AT 470 N. AIRPORT ROAD, ASESORS PARCEL NUMBER 017-210-052 WITHIN THE GENERAL COMMERCIAL/ LIGHT MANUFACTURING/ PLANNED DEVELOPMENT ZONE

WHEREAS, the applicant, Kimley-Horn & Associates, on the behalf of the property owner, Walmart, has submitted an application for a Design Review approval to allow external civil site work to include parking lot updates and site accessibility improvements, with other minor site modifications; and

WHEREAS, City of Willows Municipal Code Section Chapter 18.141 requires all new buildings, structures, and other physical improvements shall have design review approval from the Planning Commission; and,

WHEREAS, notice of the Planning Commission meeting held on January 7, 2025, was published in a newspaper of general circulation in the City in accordance with law, and mailing to property owners within 300 feet were sent; and

WHEREAS, the Planning Commission did, on January 7, 2025, hold a public hearing to consider all public oral and written comments, letters and documents, staff reports, and all other documents and evidence which are a part of the Record; and

WHEREAS, the Planning Commission does find that the proposed project qualifies as a Categorical Exemption under Section 15303 (Class 1) pursuant to the California Environmental Quality Act (CEQA); and

NOW THEREFORE, BE IT RESOLVED, that the Planning Commission of the City of Willows does hereby find that the request for external civil site work to include parking lot updates and site accessibility improvements, with other minor site modifications is consistent with the General Plan, and the City of Willows Municipal Code; and hereby approves Design Review (File # DR-24-07), subject to the attached conditions of approval.

PASSED AND ADOPTED by the Planning Commission of the City of Willows this 7th day of January 2025, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

APPROVED:

ATTESTED:

Pedro Bobadilla, Chair

Tara Rustenhoven, Deputy City Clerk

Conditions of Approval
Design Review (DR-24-068) & Use Permit (MUP-24-02)
For Walmart Exterior Civil Site Modifications
470 N. Airport Road /APN: 017-210-052
Planning Commission Approval Date: January 7, 2025

GENERAL

1. That the applicant/developer shall enter into a *Pass-Through* Agreement with the City of Willows to pay the cost of all planning review, plan checking and field inspection of this project.
2. All plans for additional uses, which are not covered by this review, shall be submitted to the City Manager and Planning Commission for review and approval prior to use.
3. The Architectural Design Review approval shall expire in one (1) year unless otherwise stipulated by the Planning Commission. The applicant may apply to the City for an extension of not more than one (1) year from the original date of expiration, if found that there has been no substantial change in the factual circumstances surrounding the originally approved design. Substantial changes and any further extension beyond one (1) year shall require Planning Commission approval.
4. The developer shall adhere to the design and specification of the Architectural Design Review approval for the exterior civil improvements, to include the proposed landscaping, signage and necessary site improvements as shown on the plans submitted with the application.
5. All building mounted and site lighting shall be shielded lights, down lights, and or full cut off lights so that the bulb is not visible from off-site and light does not create glare or hazard onto adjoining properties/streets. Cut sheets shall be submitted with building plans. All lighting must meet the City Standards.
6. All landscaping shall be maintained in good condition and any dead or dying plants, bushes, or trees shall be replaced with new healthy stock of a size compatible with the remainder of the growth at the time of replacement.
7. The approval of this project shall be subject to the latest adopted Ordinances, Resolutions, Policies and fees of the City of Willows.
8. In the event that archaeological remains or artifacts are uncovered during construction activities, work shall be stopped, and a qualified archaeologist shall survey the site. The archaeologist shall submit a report with recommendations of the disposition of the site. Disposition may include, but is not limited to, excavation and documentation, capping the site, or leaving the site in an open space area. The recommendations of the archaeologist shall be incorporated in the project.
9. All contractors/sub-contractors doing work on the project shall obtain a City business license prior to commencing operation. Facility shall operate in accordance with local laws.

BUILDING DEPARTMENT

10. If you intend to construct, enlarge, alter, repair, move, demolish, or change the occupancy of the building or structure or to erect, install, alter, repair, remove, convert, or replace any electrical, gas, mechanical or plumbing system, the installation of which is regulated by code, or to cause any such work to be done, you shall first make application for a building permit and obtain the required permit for the development.
11. Applicant shall submit a completed building permit application with detailed scope of work, 3 complete sets of plans, calculations, specifications, etc. for review. Appropriate plan review fees shall be paid at the time of submittal.

12. All work shall comply with current applicable Federal, State, local building codes and ordinances and be shown on the plans submitted for building permit review.
13. Conditions of approval shall be shown on the plans submitted for building permit review.
14. Prior to issuance of a Building Permit for the construction of any structures on the site, a Final Lighting Plan shall be submitted to the City and reviewed by the Engineer. The final lighting plan shall include, but not limited to the following: (a) details regarding exterior lighting with lighting sources that are full cut-off, hooded, and down-cast, or otherwise shielded to ensure that light does adversely shine towards neighboring properties or toward the night sky, (b) lighting sources with the minimum wattage necessary to provide adequate security without causing excessively bright night glow, (c) sufficient details regarding the proposed wattage and area of coverage for all site lights.

DIRECTIONAL SIGN SCHEDULE		
ARROW	NUMBER	MOUNTING TYPE
Directional Left	3	Pole
Directional Right	2	Pole
Directional Straight	0	Pole

SIGNAGE LEGEND

DIRECTIONAL SIGN → **R** SIGN ARROW DIRECTION
L=LEFT
R=RIGHT
S=STRAIGHT

SHEET NOTES

1	ON PROJECTS WHERE PICKUP IS IN OPERATION AND PICKUP SIGNAGE EXISTS ON SITE. VERIFY THAT SIGN LOCATIONS MATCH THE NEW PROPOSED SIGN LOCATIONS SHOWN IN THIS SET. REMOVE ANY EXISTING PICKUP SIGNS THAT DO NOT MATCH THE SIGN TYPES AND LOCATIONS PROVIDED IN THIS SET. CONSULT WITH WM CONSTRUCTION MANAGER PRIOR TO REMOVING EXISTING PICKUP SIGNAGE. PATCH AND REPAIR PAVEMENT TO MATCH EXISTING AND PROVIDE FLUSH WITH EXISTING TOP OF PAVEMENT.
---	--

STIPULATION FOR REUSE

THIS DRAWING WAS PREPARED FOR REUSE ON A SPECIFIC SITE AT: WILLOWS, CA

CONTINGENTLY AND NOT NECESSARILY SUITABLE FOR USE ON A DIFFERENT PROJECT SITE OR AT A LATER TIME.

THIS DRAWING FOR REFERENCE PURPOSES OF THE ARCHITECT. THE ARCHITECT ASSURES THE SERVICES OF PROPERLY LICENSED ARCHITECTS AND ENGINEERS. THE REPRODUCTION OF THIS DRAWING FOR REUSE ON ANOTHER PROJECT IS NOT PERMITTED AND MAY BE CONTRARY TO LAW.

CONSULTANTS

Kimley»Horn

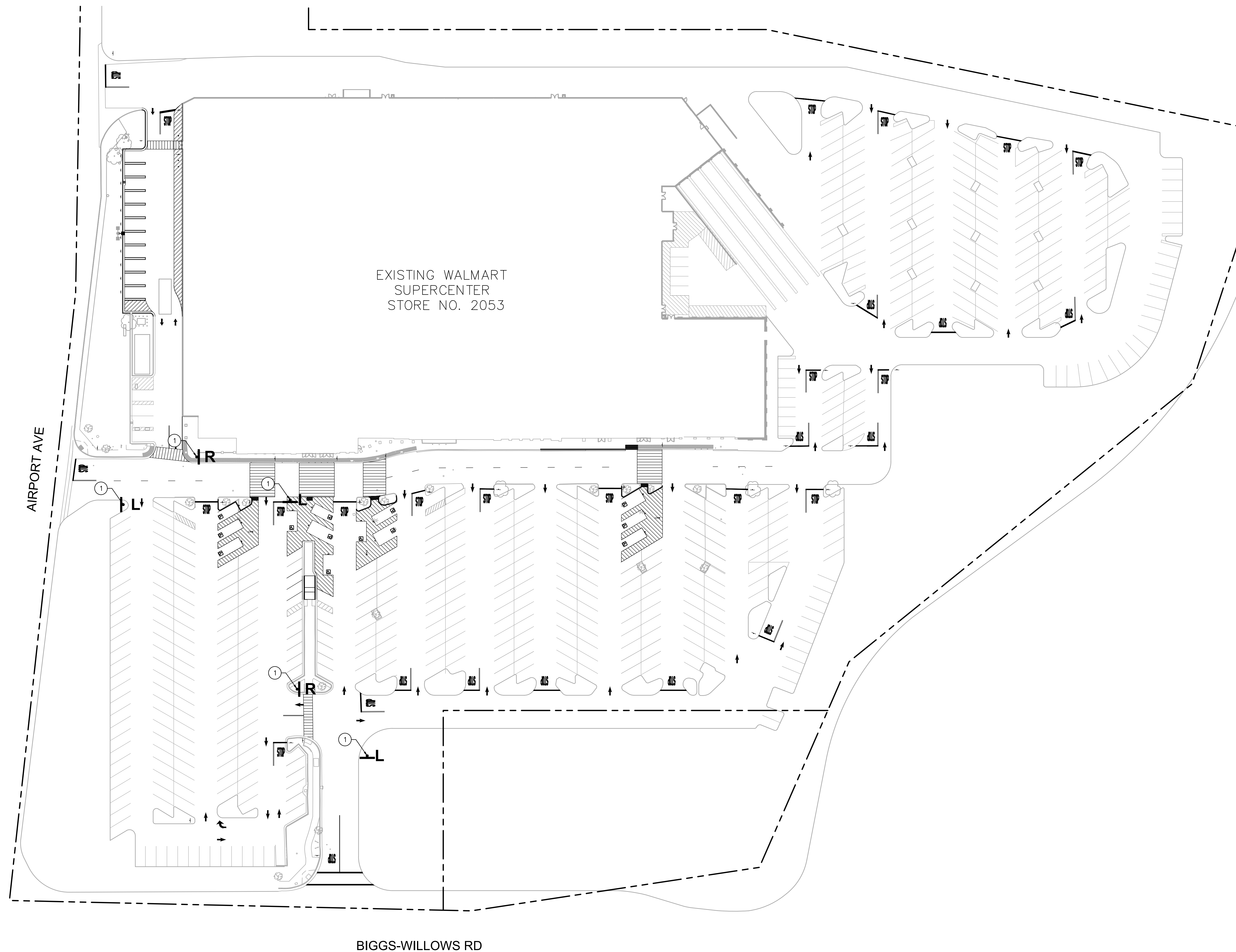
© 2004 KIMLEY-HORN AND ASSOCIATES, INC.
11100 N. 103RD AVE., SUITE 100, OVERLAND PARK, KS 66210
PHONE: 913-239-1030
WWW.KIMLEY-HORN.COM

LEGEND

- PROPERTY LINE

CONSTRUCTION NOTES

1 INSTALL DIRECTIONAL PICKUP SIGN ON POST PER DETAIL 1 AND 2, SHEET C4.0.



OVERALL SITE PLAN

SCALE: 1" = 40'

WALMART BUILDING INFO		AHJ PARKING REQUIRED	WALMART PARKING REQUIRED	REGULAR PARKING STALLS PROVIDED	OGP PARKING STALLS PROVIDED	ADA PARKING STALLS PROVIDED	CART CORRAL STALLS PROVIDED	TOTAL STALLS PROVIDED	TOTAL PARKING RATIO
WALMART	BUILDING SF ¹	SPACES	SPACES	SPACES ^{2,3}	SPACES ^{2,3}	SPACES ^{2,3}	SPACES ^{2,3}	SPACES ^{2,3}	SPACES ¹
EXISTING	130,999 SF	437 SPACES 3.33/1,000 SF	524 SPACES 4.00/1,000 SF	518	10	13	17	541	4.13/1,000 SF
PROPOSED	130,999 SF	437 SPACES 3.33/1,000 SF	524 SPACES 4.00/1,000 SF	514	11	13	17	538	4.11/1,000 SF

PARKING INFORMATION NOTES:

1. USABLE FLOOR AREA IS PER INFORMATION SHOWN IN THE WALMART STORE PLANNING PROJECT MANAGEMENT APPLICATION SYSTEM (LUCERNE).
2. EXISTING PARKING COUNTS ARE BASED ON ORIGINAL CONSTRUCTION PLANS AND A REVIEW OF AVAILABLE AERIAL PHOTOGRAPHS.
3. PARKING SPACES OCCUPIED BY CART CORRALS HAVE BEEN EXCLUDED FROM THE PARKING COUNTS AND PARKING RATIOS.

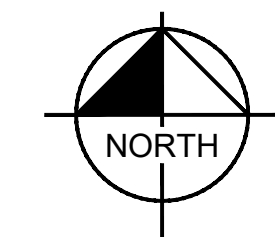


CAUTION!!

CONTRACTOR IS TO VERIFY
PRESENCE AND EXACT
LOCATION OF ALL UTILITIES
PRIOR TO CONSTRUCTION.



Know what's below.
Call before you dig.



GRAPHIC SCALE IN FEET
0 20 40 80

SCALE: 1" = 40'
WHEN PRINTED AT FULL
SIZE 30"X42"

ISSUE BLOCK

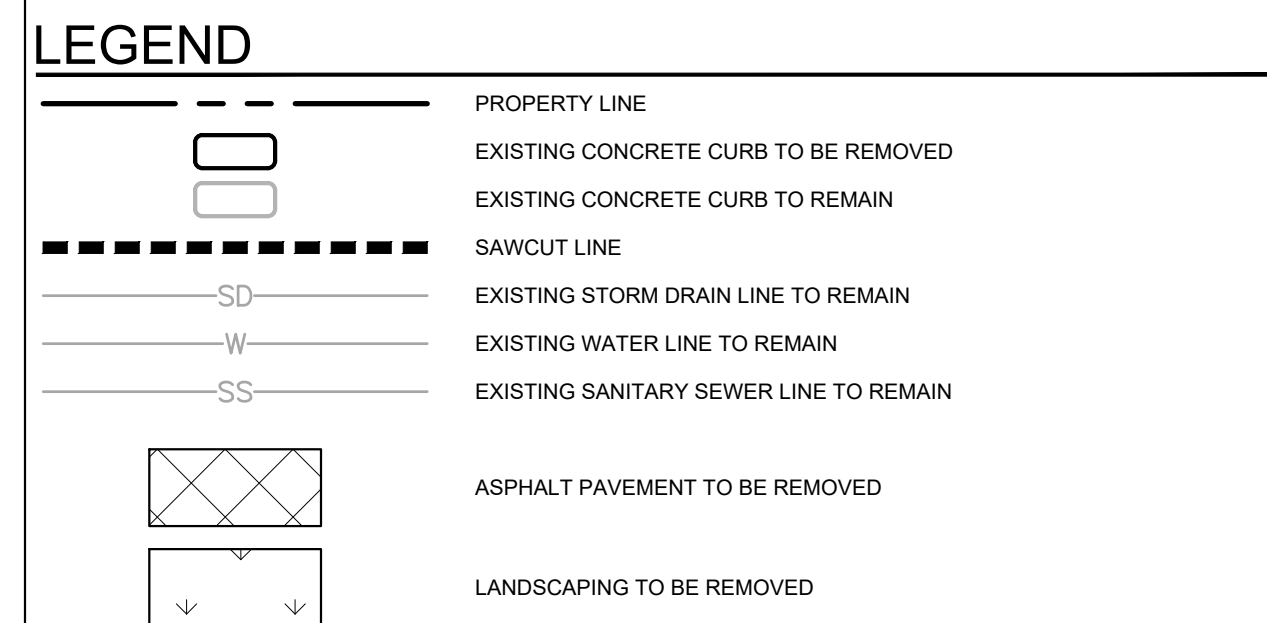
[illegible]

CHECKED BY:	JG
DRAWN BY:	GK
PROTO CYCLE:	04/26/24
DOCUMENT DATE:	07/15/24

NOT FOR
CONSTRUCTION

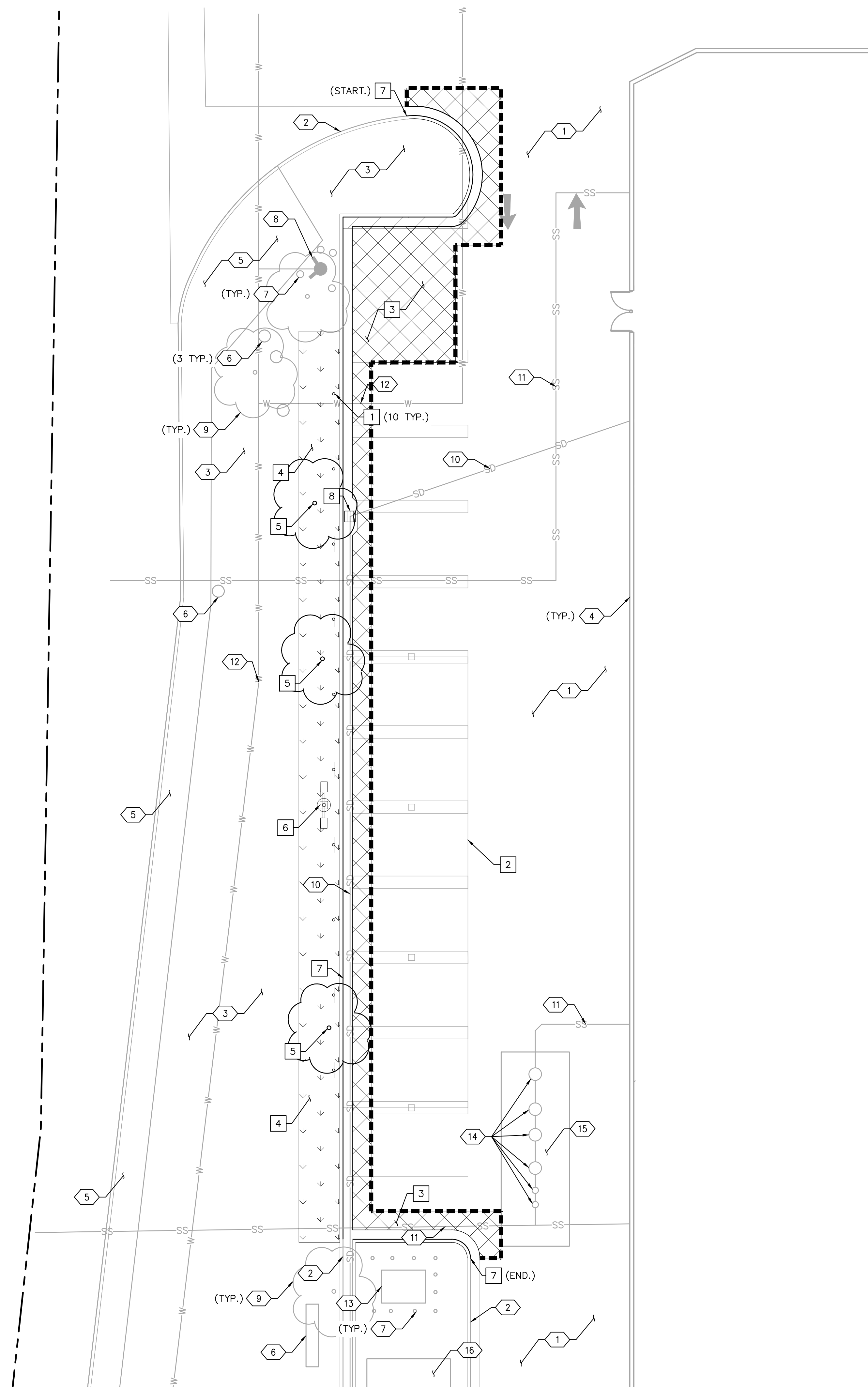
OVERALL SITE
PLAN

SHEET: C1.0



1. PROTECT-IN-PLACE EXISTING ASPHALT PAVEMENT.
2. PROTECT-IN-PLACE EXISTING CONCRETE CURB AND GUTTER.
3. PROTECT-IN-PLACE EXISTING LANDSCAPING.
4. PROTECT-IN-PLACE EXISTING BUILDING FACADE.
5. PROTECT-IN-PLACE EXISTING CONCRETE SIDEWALK.
6. PROTECT-IN-PLACE EXISTING UTILITY STRUCTURE.
7. PROTECT-IN-PLACE EXISTING BOLLARD.
8. PROTECT-IN-PLACE EXISTING FIRE HYDRANT.
9. PROTECT-IN-PLACE EXISTING TREE.
10. PROTECT-IN-PLACE EXISTING STORM DRAIN LINE.
11. PROTECT-IN-PLACE EXISTING SANITARY SEWER LINE.
12. PROTECT-IN-PLACE EXISTING WATER LINE.
13. PROTECT-IN-PLACE EXISTING TRANSFORMER.
14. PROTECT-IN-PLACE EXISTING GREASE INTERCEPTOR. ADJUST TO PROPOSED GRADE AS NECESSARY.
15. PROTECT-IN-PLACE EXISTING HEAVY-DUTY CONCRETE PAVEMENT.
16. PROTECT-IN-PLACE EXISTING ELECTRIC VEHICLE CHARGING EQUIPMENT.

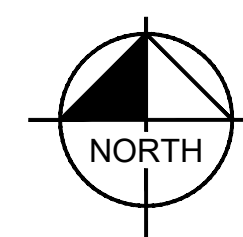
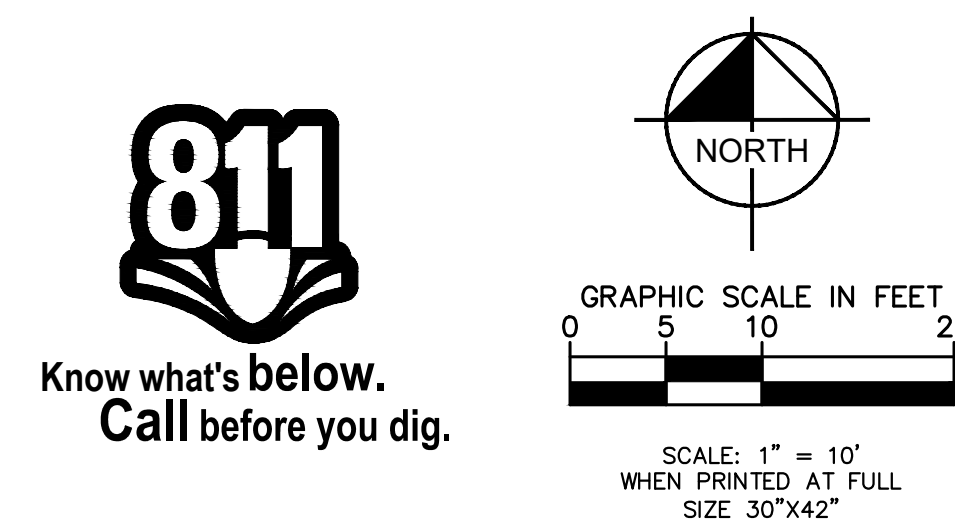
- 1 DEMO EXISTING SIGN ON POST.
- 2 DEMO EXISTING PICKUP CANOPY AND FOOTINGS. REFER TO ARCHITECTURAL PLANS FOR MORE INFORMATION.
- 3 DEMO EXISTING ASPHALT PAVEMENT AND PROTECT BASE COURSE.
- 4 DEMO EXISTING LANDSCAPING AND REROUTE IRRIGATION.
- 5 REMOVE EXISTING TREE AND ROOTS.
- 6 RELOCATE EXISTING LIGHT POLE.
- 7 DEMO EXISTING CONCRETE CURB AND GUTTER AND PROTECT BASE COURSE.
- 8 RELOCATE EXISTING PRE-CAST STORM DRAIN INLET AND GRATE.



DEMOLITION PLAN
SCALE: 1" = 10'



CAUTION!!
CONTRACTOR IS TO VERIFY
PRESENCE AND EXACT
LOCATION OF ALL UTILITIES
PRIOR TO CONSTRUCTION.



STIPULATION FOR REUSE

THIS DRAWING WAS PREPARED FOR USE ON A SPECIFIC SITE AT: WILLOWS, CA

UNLESS CONCURRENTLY WITH THIS ISSUE OF THE DRAWING, THE ARCHITECT AND HIS FIRM, OR ANY OTHER PARTY, IS SUITABLE FOR USE ON A DIFFERENT PROJECT SITE OR AT A LATER TIME, THE ARCHITECT SHALL BE RESPONSIBLE FOR THE REUSE OF THIS DRAWING FOR REFERENCE PURPOSES. THE ARCHITECT'S REUSE OF THIS DRAWING FOR REFERENCE PURPOSES DOES NOT REQUIRE THE SERVICES OF PROPERLY LICENSED ARCHITECTS AND ENGINEERS. THE REUSE OF THIS DRAWING FOR REPRODUCTION OF THIS DRAWING FOR REUSE ON ANOTHER PROJECT IS NOT PERMITTED AND MAY BE CONTRARY TO THE ARCHITECT'S PROFESSIONAL ETHICS.

CONSULTANTS

Kimley»Horn

© 2004 KIMLEY-HORN AND ASSOCIATES, INC.
11100 N. 107th Ave., Suite 200, Overland Park, KS 66210
PHONE: 714-939-1030
WWW.KIMLEY-HORN.COM

Walmart*
WILLOWS, CA
470 N AIRPORT RD
STORE NO: 2053 - 282
JOB NUMBER: 2023.0787 | PHOTO: 131

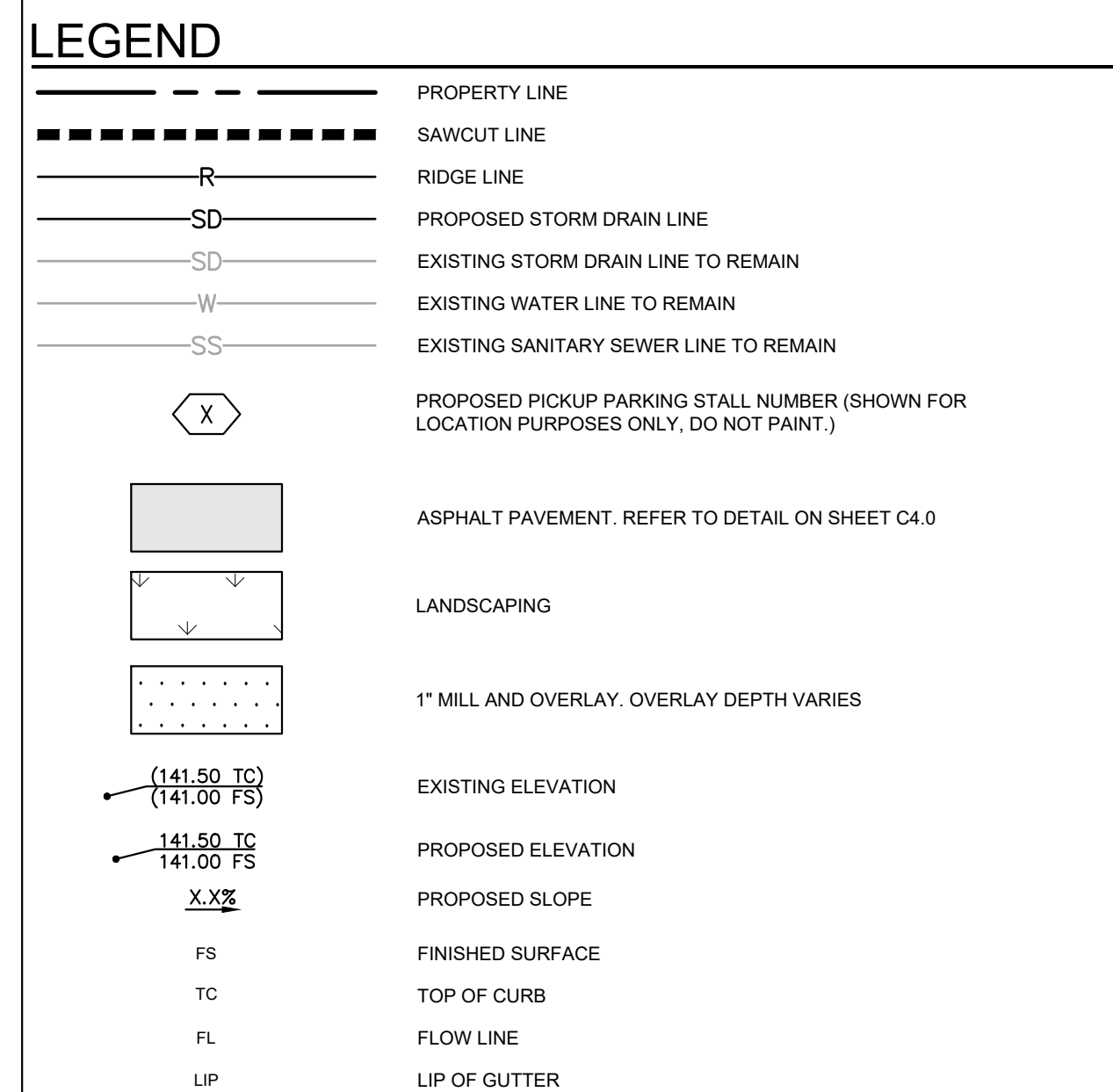
[illegible]

CHECKED BY:	JG
DRAWN BY:	GK
PROTO CYCLE:	04/26/24
DOCUMENT DATE:	07/15/24

NOT FOR
CONSTRUCTION

PICKUP 2.0 DEMOLITION PLAN

SHEET: **C2.0**



- 1 PROPOSED ASSOCIATE PATH-OF-TRAVEL PER DETAIL ON SHEET C4.0.
- 2 PROPOSED WHITE 4" STRIPE, 60 DEGREES, SPACED AT 36"
- 3 INSTALL "STOP HERE FOR PEDESTRIANS" SIGN ON POST AND BOLLARD PER DETAIL ON SHEET C4.0 AND "SIGN MOUNTING AND BASE" ON SHEET C10.0.
- 4 INSTALL "STOP HERE FOR PEDESTRIANS" SIGN ON POST PER DETAIL ON SHEET C4.0 AND "SIGN MOUNTING AND BASE" ON SHEET C10.0.
- 5 INSTALL PICKUP SIGN ON POST PER DETAILS ON SHEET C4.0
- 6 STRIKE PICKUP PARKING PER DETAIL ON SHEET C4.0
- 7 PROPOSED PICKUP REFER. TO ARCHITECTURAL PLANS FOR MORE INFORMATION
- 8 PROPOSED BOLLARD PER DETAIL ON SHEET C4.0.
- 9 PROPOSED RELOCATED LIGHT POLE WITH 3 LIGHTING HEADS. REFER TO FOUNDATION PER DETAIL ON SHEET C4.0. REFER TO LIGHTING PLANS FOR MORE INFORMATION.
- 10 PROPOSED 1" MILL AND OVERLAY TO PROPOSED GRADES SHOWN ON THIS SHEET. OVERLAY DEPTH MAY VARY.
- 11 PROPOSED ASPHALT PAVEMENT PER DETAIL ON SHEET C4.0.
- 12 PROPOSED PICKUP BANNER MOUNTED ON RELOCATED LIGHT POLE PER DETAIL ON SHEET C4.0.
- 13 PROPOSED LANDSCAPING TO MATCH EXISTING.
- 14 PROPOSED CONCRETE CURB AND GUTTER PER DETAIL ON SHEET C4.0. HEIGHT PER PLAN.
- 15 PROPOSED RELOCATED STORM DRAIN INLET.
- 16 PROPOSED POINT OF CONNECTION INTO EXISTING STORM DRAIN LINE. CONTRACTOR TO FIELD VERIFY INVERT PRIOR TO CONSTRUCTION AND NOTIFY DESIGN ENGINEER OF ANY DISCREPANCIES.
- 17 PROPOSED 12" PVC STORM DRAIN PIPE AT 0.5% SLOPE MINIMUM.



GRAPHIC SCALE IN FEET

0 5 10 20

SCALE: 1" = 10'
WHEN PRINTED AT FULL
SIZE 30"x42"

Walmart*

WILLOWS, CA

470 N AIRPORT RD

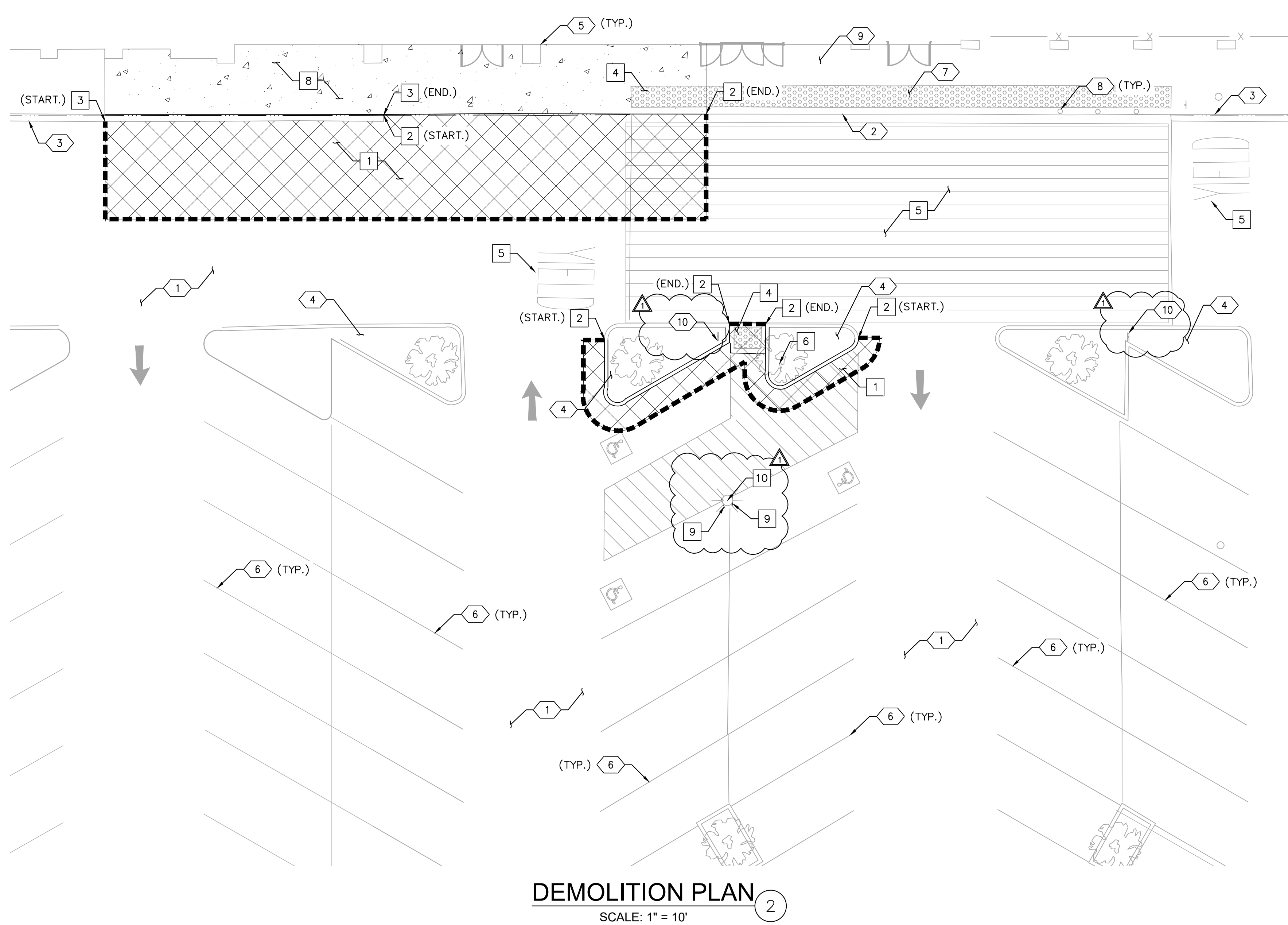
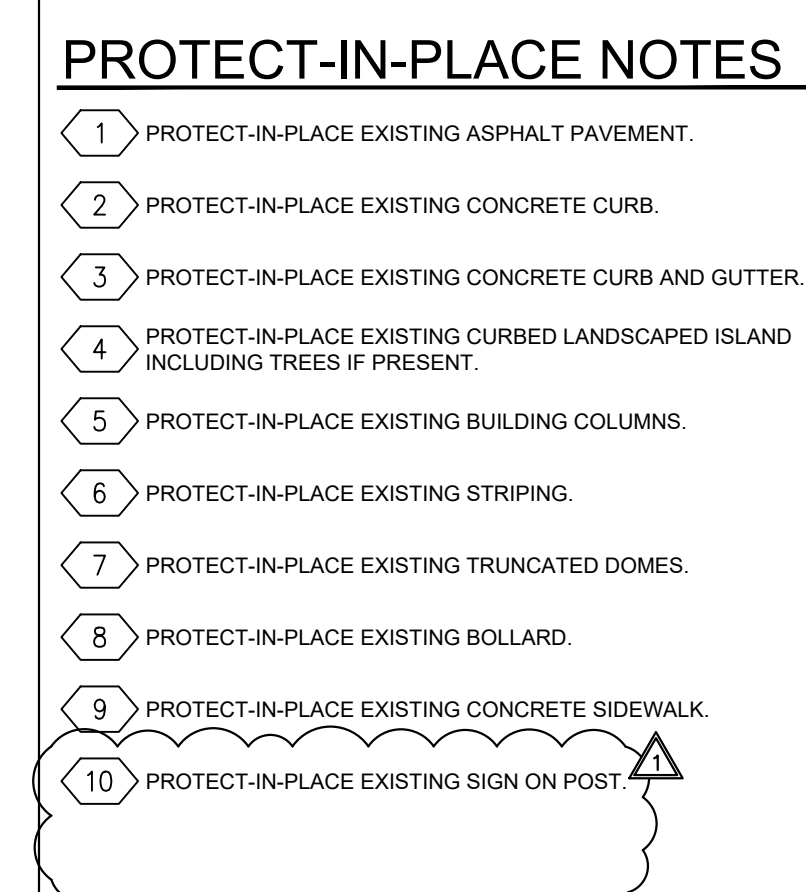
STORE NO: 2053 - 282

JOB NUMBER: 2023.0787 | PROTO: 131


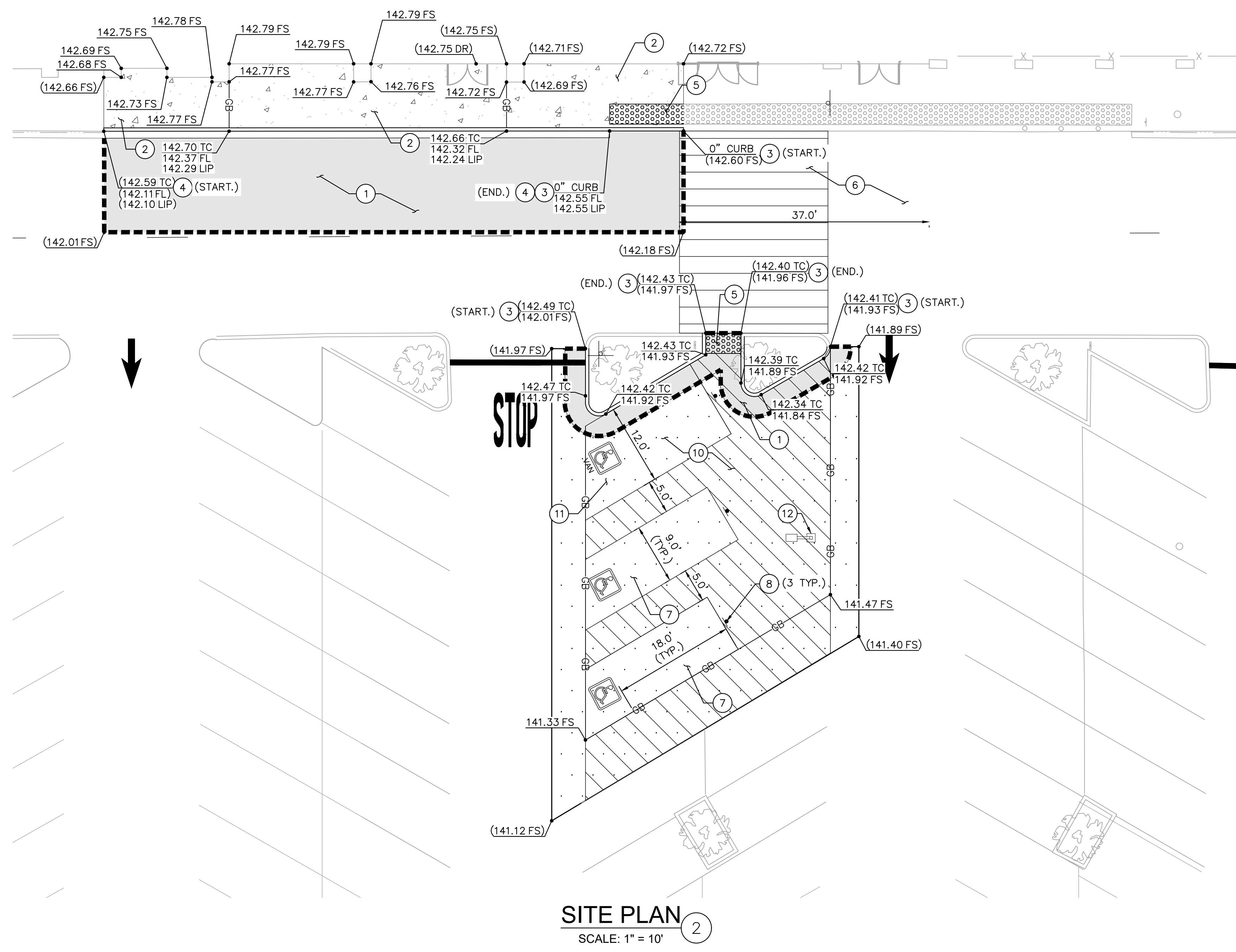
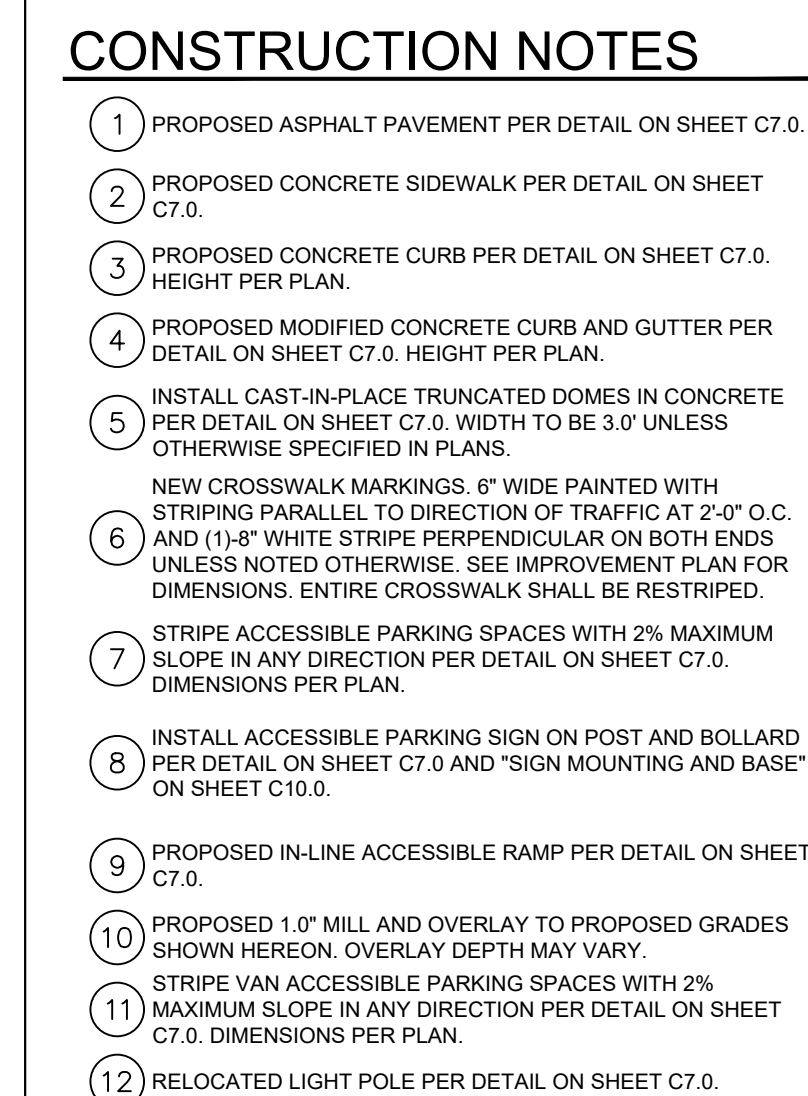
CHECKED BY:	JG
DRAWN BY:	GK
PROTO CYCLE:	04/26/24
DOCUMENT DATE:	07/15/24

NOT FOR
CONSTRUCTION

SHEET: **C3.0**

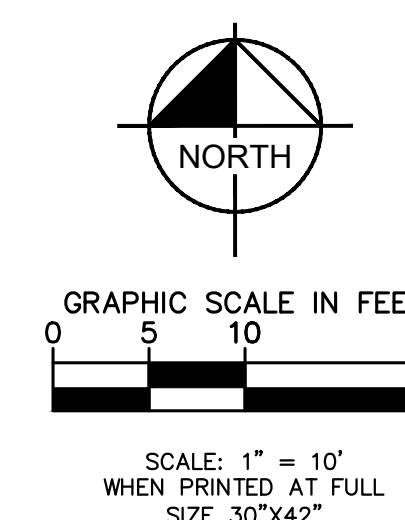


SHEET: C5.0



CAUTION!!

CONTRACTOR IS TO VERIFY
PRESENCE AND EXACT
LOCATION OF ALL UTILITIES
PRIOR TO CONSTRUCTION.



STIPULATION FOR REUSE

THIS DRAWING WAS PREPARED FOR
SPECIFIC SITE AT:
WILLOWS, CA
CONTEMPORANEOUSLY WITH ITS ISSUE
DATE ON 07/19/2024 AND IT IS NOT
TO BE USED FOR ANY OTHER PROJECT
PROJECT SITE OR AT A LATER TIME.
US OF THIS DRAWING FOR REFERENCE
OR EXACTS THE SAME OF ANY OTHER
LICENSED ARCHITECTS AND ENGINEERS.
REPRODUCTION OF THIS DRAWING FOR
ANY OTHER PROJECT WITHOUT BEING
AUTHORIZED AND MAY BE CONTRARY
TO THE LAW.

CONSULTANTS

Kimley»Horn

1024 KIMLEY-HORN AND ASSOCIATES, INC.
1105 W. 10TH AVE., SUITE 100, DENVER, CO
PHONING: 774-329-1020
WWW.KIMLEY-HORN.COM

Walmart*
WILLOWS, CA
470 N AIRPORT RD
STORE NO: 2053 - 282
JOB NUMBER: 2023.0787 PR010: 131

[illegible]

CHECKED BY:	JG
DRAWN BY:	GK
PROTO CYCLE:	04/26/24
DOCUMENT DATE:	07/15/24

NOT FOR
CONSTRUCTION

ADA SITE PLAN

SHEET: **C6.0**

Design Review Analysis

Design Review (DR-24-07)

470 N. Airport Road/APN: 017-210-052

I. Introduction

This Design Review Analysis (Analysis) evaluates the proposed exterior modifications for the existing property located at 470 N. Airport Road, identified by Assessor Parcel Number (APN): 017-210-052. The Analysis focuses on the project's compliance with design review criteria, including site relationship, neighborhood compatibility, site improvements, and operational considerations.

II. Design Review Analysis

Competent Design

The proposed civil changes have been designed by professional architects/engineers licensed within the State of California to meet the building code standards of development. No changes to the existing structure are proposed within the scope of this project.

Relationship Between Structures Within the Development and Between Structures and Site

The Site contains an existing building, and the project does not involve any alterations to the building's position. As a result, there will be no impact on the relationship between the structure and the Site.

Relationship between Development and Neighborhood

The property to the West lies within the County of Glenn's jurisdiction. The adjacent property to the North is zoned as CG/ML/PD (General Commercial/Light Industrial/Planned Development). This area is currently vacant, but the land is being utilized for agriculture. To the South: The property is bordered by land zoned Highway Commercial. Beyond that, the Glenn County Airport lies further south. To the East: The property is adjacent to Interstate 5. The surrounding zoning indicates a mix of commercial and industrial uses.

The surrounding visual characteristics consists of the following:

- West: Agricultural land (orchard).
- South: Willows-Glenn County Airport. A series of metal industrial buildings.
- East: Interstate 5.
- North: A water tower. Beyond that is more agricultural land.

Materials and Colors Used

No exterior changes are proposed to the structure. The modifications will be primarily involving striping on the pavement in the parking lot. ADA signage will also be included.

Wall and Fencing

No new walls or fences around the property perimeter are proposed with this project.

Surface Water Drainage

All surface/on-site water shall drain properly. WMC Section 18.141.030 states that *“Stormwaters shall be removed and carried away in an adequate drainage system”*. Surface water and all paved areas shall be collected at intervals so that it will not obstruct the flow of vehicles or pedestrian traffic and will not create puddles on the paved areas. The project is conditioned as such within the Engineering Department section of Attachment 2 of the Staff Report.

Drives, Parking and Circulation

Access to the project site will be provided will not change because of this project. A wider drive aisle will be created by shifting the pickup parking stalls approximately 7 feet west on the west site of the store. The site accessibility improvements and other site modifications will result in an overall reduction of parking stalls but will still meet the requirements per WMC 18.120.020, with a total number of spaces of 538.

Utility Service

No new utilities are included in the scope of this project.

Signs

This project will replace existing signage in the parking lot to direct traffic towards the stores' pickup location and will include the installation of up-to-date accessible signage.

Exterior Lighting

An existing light pole will be relocated on the site. WMC Section 18.141.060(10) states *“Light sources shall not create a glare or hazard on adjoining streets or be annoying to adjacent properties or residential areas”*. As a condition of approval, photometric plan shall be submitted for review to ensure that lighting will not be over glaring and/or project onto adjacent property.

Landscaping

Landscaping is proposed for the Site to include trees, shrubs and ground cover, along the northwestern edge of the parking lot along Airport Road. The applicant proposes to replace any disrupted landscaping to match what is existing on site. A landscape plan with more detail will be required as part of the building permit application. Conclusion

Per Section 18.141.070(1), an application for design review may be approved, approved with modifications, conditionally approved, or disapproved.



December 10, 2024

City of Willows Planning
201 N. Lassen St.
Willows, CA 95988

Below is a summary of the scope of external civil site work at Walmart 2053 in Willows, CA:

- **OGP Parking/Signage:** Existing signage for online grocery pickup will be removed. Updated online grocery pickup signage will be installed at the proposed pickup parking location on the west side of the store. Signage directing customers to the proposed pickup parking location is also proposed at various locations on the site. Existing pickup stall striping will be removed and OGP stalls will be striped at the proposed pickup parking location. To accommodate the updated parking the following is proposed:
 - Shifting pickup parking stalls ~7' west to accommodate a wider drive aisle width/provide space for channelization striping.
 - Addition of channelization striping at pickup dispensing door to provide safe path of travel for pickup associates.
 - Relocation of existing storm drain inlet ~7' west to accommodate shifted parking.
 - Relocation of existing light pole and addition of lighting head to said pole to accommodate shifted parking and photometrics requirements.
 - Proposed curb and gutter to maintain existing drainage patterns at shifted parking location.
- **Site Accessibility Improvements:** Accessible parking stalls as well as the accessible path of travel will be improved as to meet accessibility standards. Improvements include regrading of non-compliant path of travel surfaces, installation of up-to-date accessible signage, and restriping of accessible stalls/paths of travel.
- **Striping and Signage:** Site crosswalks, stop bars, centerlines, and directional arrows will be restriped in accordance with Walmart's current striping standards. Work includes seal coating of existing striping, application of updated striping, demolition of existing signage, and installation of new signage associated with updated striping.



Date: January 7, 2025

To: Planning Commission

From: Jessica Shull, Contract Planner, Harris & Associates

Subject: Walmart/ Minor Use Permit (File# MUP-24-03) & Design Review (File# DR-24-08)/ 470 N. Airport Road

Recommendation:

Staff recommends the Commission receive the Staff Report, attachments, discuss, and upon conclusion, consider adoption of the attached resolution.

Rationale for Recommendation:

The City of Willows Municipal Code (WMC) Section 18.141.030, states *"All new buildings, structures and other physical improvements and any relocation or exterior addition, extension, or change of or to existing buildings, structures and other physical improvements shall be subject to design review, whether or not a building permit is required."*

Additionally, section 18.141.060 outlines the criteria for design review approval, encompassing building design, site relationship, neighborhood compatibility, material selection, site improvements, and operational considerations. Guidelines for material and color selection are specified in Section 18.141.060(4), which states, *"Other colors and materials may be accepted if the applicant can demonstrate that they are appropriate to the style, serve as appropriate accent colors, and harmonize with the site or neighborhood character."*

Per Section 18.141.070 of the WMC, an application for design review may be approved, approved with modifications, conditionally approved or disapproved.

Lastly, The City of Willows Municipal Code Section 18.125.150 establishes signage requirements and allows for additional square footage with an approved Use Permit.

Background:

The applicant pb2 Architecture, representing Walmart, is seeking Design Review approval to change the exterior paint color and update the existing signage on the building at the property located at 470 N. Airport Road, identified by Accessor Parcel Number (APN): 017-210-052 (Site; See Figure 1). The Site is located in the CG/ML/PD: General Commercial/ Light Manufacturing/ Planned Development Zoning District.



Figure 1: Location

Discussion & Analysis:

The project site is located within a Planned Development (PD) Combining District which allows for a variety of uses per WMC Section 18.105.020. This district allows for a more flexible, planned approval to land use. This zoning district acts as an overlay top of the underlying zoning district, meaning it retains the uses permitted by the base zoning while also allowing for additional uses as approved.

The Applicant is proposing an update to a variety of signage include both identity and incidental signage. The proposed signs include two company brand logo wall mounted signs, one approximately 6.6-feet by 30.6-feet on the rear façade and the other sign located on the front façade measuring 14.5-feet by 10.8 feet. The incidental signage includes a “Grocery & Home” sign, a “Pickup” sign as well as a new “Pharmacy” sign in its existing location.

The building frontage equates to allowing approximately 400 square feet (sf) of identity signage (which advertises the business name). This project proposes approximately 356.66 sf of identity signage, which includes the two wall signs, on both the front and rear facade, thereby meeting the allowed amount of identity signage square footage.

The proposed incidental signage, which includes the new, totals 112.82 sf, which exceeds the allowed 60 sf, allowed per Chapter 18.125, by approximately 52.82 sf. To note the Commission in the past has

allowed incidental signage to be increased by way of a use permit, by applying Table 18.125.150-A in Section 18.125.150, which states higher totals of identity signage require a use permit approval. However as stated, the Commission has with other similar projects, allowed an increase in the incidental signage through Section 18.125.150. Additionally, new signs must undergo Design Review as per Chapter 18.141 and comply with the requirements outlined in Section 18.141.060. The Signage Plan and Design Review Analysis are attached for the Commission's review (see Attachment 4 and Attachment 5). The color scheme is also included in the referenced attachments.

The applicant is also proposing to paint the exterior façade of the building. The existing and proposed new paint and signs can be seen in the figure below. The façade will be painted in varying shades of gray with Walmart blue accents.

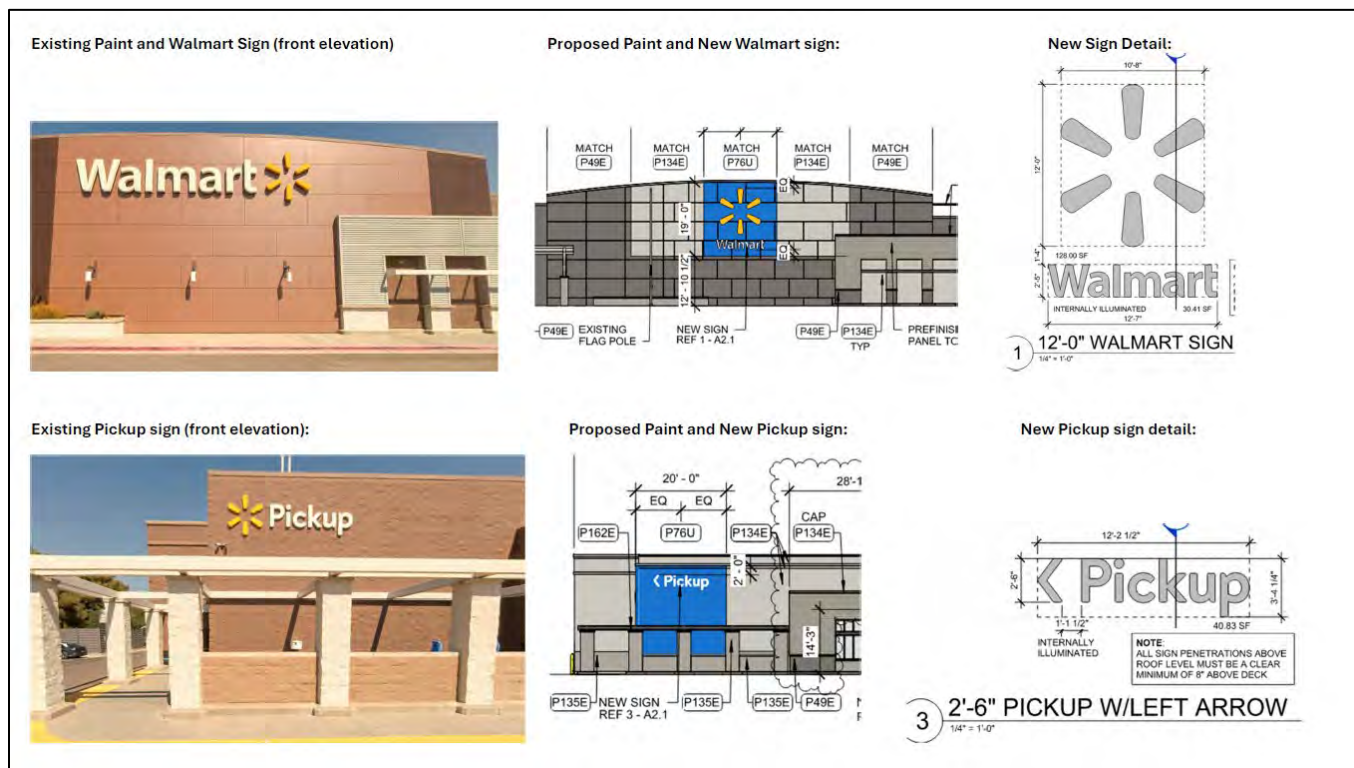


Figure 2: Existing and Proposed Paint & Signage

The surrounding visual characteristics consists of the following:

- West: Agricultural land (orchard).
- South: Willows-Glenn County Airport. A series of metal industrial buildings.
- East: Interstate 5.
- North: A water tower. Beyond that is more agricultural land.

The proposed change in paint color and update to the building signage align with the design review criteria set forth in WMC 18.141.060, which includes factors such as site relationship, neighborhood compatibility, materials and colors used, and operational considerations. These modifications have been designed to enhance usability of the site for the public and to create a cohesive design in line with Walmart's Company branding. The proposed changes comply with all relevant regulations and guidelines. Given these considerations, the modifications are recommended for approval.

Consistency with Council Priorities and Goals:

The project is consistent with Priority #4: Community Engagement as the project would offer an opportunity for public input and engagement, allowing residents to share their thoughts and concerns during a public hearing.

Fiscal Impact:

There is no cost to the City associated with this request as the project has a PTA deposit on file.

Attachments:

- Attachments 1: Resolution XX-2025
- Attachments 2: Conditions of Approval
- Attachments 3: Site Plan/ Elevations
- Attachments 4: Signage Plan
- Attachments 5: Design Review Analysis



**City of Willows
Resolution XX-2025**

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF WILLOWS GRANTING THE DESIGN REVIEW APPROVAL OF DESIGN REVIEW (FILE # DR-24-08) TO WALMART FOR EXTERIOR BUILDING IMPROVEMENTS AND USE PERMIT APPROVAL FOR 112.82 SF OF ADDITIONAL INCIDENTAL SIGNAGE TO WALMART FOR THE PROPERTY LOCATED AT 470 AIRPORT ROAD, A SESSORS PARCEL NUMBER 017-210-052 WITHIN THE GENERAL COMMERCIAL/ LIGHT MANUFACTURING/ PLANNED DEVELOPMENT ZONE

WHEREAS, the applicant, pb2 Architecture, on the behalf of the property owner, Walmart has submitted an application for a Design Review approval to paint the existing building's facade; and

WHEREAS, City of Willows Municipal Code Section Chapter 18.141 requires all new buildings, structures, and other physical improvements shall have design review approval from the Planning Commission; and,

WHEREAS, City of Willows Municipal Code Section 18.125.150 establishes signage requirements and allows for additional square footage with an approved Use Permit; and

WHEREAS, notice of the Planning Commission meeting held on January 7, 2025, was published in a newspaper of general circulation in the City in accordance with law, and mailing to property owners within 300 feet were sent; and

WHEREAS, the Planning Commission did, on January 7, 2025, hold a public hearing to consider all public oral and written comments, letters and documents, staff reports, and all other documents and evidence which are a part of the Record; and

WHEREAS, the Planning Commission does find that the proposed project qualifies as a Categorical Exemption under Section 15303 (Class 1) pursuant to the California Environmental Quality Act (CEQA); and

WHEREAS, pursuant to Section 18.135.050 of the Zoning Ordinance, the following findings are made:

- 1) That the use is consistent with the purposes of the district in which the site is located.

WMC (Willows Municipal Code) Chapter 18.105.020 outlines the regulations for the Planned Development (PD) Combining District, which overlays the district with which it is combined and permits those uses that are allowed within the base zoning district. The project site is located within the General Commercial and Light Manufacturing Planned Development Zoning District which allows for the commercial retail use. Under Section 18.125.150, 52.82 square feet (sf) of additional incidental signage is allowed with use permit approval.

- 2) That the proposed location of the use and the conditions under which it may be operated or maintained will not be detrimental to the public health, safety, or welfare or materially injurious to properties or improvements in the vicinity.

The project consists of exterior design modifications to the site without changes to the approved use. Conditions of approval have been placed upon the use ensuring that it will not be detrimental to the public health, safety, or welfare or materially injurious to properties.

- 3) That the proposed use is in conformance with the General Plan.

Retail businesses are allowed within the General Commercial/Light Manufacturing/Planned Development Zone and no changes to use approved use are being review within the project scope.

NOW THEREFORE, BE IT RESOLVED, that the Planning Commission of the City of Willows does hereby find that the request to paint the existing façade, with other minor site modifications is consistent with the General Plan, and the City of Willows Municipal Code; and findings incorporated, and hereby approves Use Permit #MUP-24-03 and Design Review Permit #DR-24-08, subject to the attached conditions of approval.

PASSED AND ADOPTED by the Planning Commission of the City of Willows this 7th day of January 2025, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

APPROVED:

ATTESTED:

Pedro Bobadilla, Chair

Tara Rustenhoven, Deputy City Clerk

**Conditions of Approval
Use Permit (MUP-24-03) and Design Review (DR-24-08)
For Walmart Exterior Paint and Signage Project
470 N. Airport Road /APN: 017-210-052
Planning Commission Approval Date: January 7, 2025**

GENERAL

1. That the applicant/developer shall enter into a *Pass-Through* Agreement with the City of Willows to pay the cost of all planning review, plan checking and field inspection of this project.
2. All plans for additional uses, which are not covered by this review, shall be submitted to the City Manager and Planning Commission for review and approval prior to use.
3. The Architectural Design Review approval shall expire in one (1) year unless otherwise stipulated by the Planning Commission. The applicant may apply to the City for an extension of not more than one (1) year from the original date of expiration, if found that there has been no substantial change in the factual circumstances surrounding the originally approved design. Substantial changes and any further extension beyond one (1) year shall require Planning Commission approval.
4. The developer shall adhere to the design and specification of the Architectural Design Review approval for the exterior façade improvements, to include the proposed material/color scheme of the new building, signage and necessary site improvements as shown on the plans submitted with the application.
5. All building mounted and site lighting shall be shielded lights, down lights, and or full cut off lights so that the bulb is not visible from off-site and light does not create glare or hazard onto adjoining properties/streets. Cut sheets shall be submitted with building plans. All lighting must meet the City Standards.
6. All landscaping shall be maintained in good condition and any dead or dying plants, bushes, or trees shall be replaced with new healthy stock of a size compatible with the remainder of the growth at the time of replacement.
7. The approval of this project shall be subject to the latest adopted Ordinances, Resolutions, Policies and fees of the City of Willows.
8. In the event that archaeological remains or artifacts are uncovered during construction activities, work shall be stopped, and a qualified archaeologist shall survey the site. The archaeologist shall submit a report with recommendations of the disposition of the site. Disposition may include, but is not limited to, excavation and documentation, capping the site, or leaving the site in an open space area. The recommendations of the archaeologist shall be incorporated in the project.
9. All contractors/sub-contractors doing work on the project shall obtain a City business license prior to commencing operation. Facility shall operate in accordance with local laws.

BUILDING DEPARTMENT


10. If you intend to construct, enlarge, alter, repair, move, demolish, or change the occupancy of the building or structure or to erect, install, alter, repair, remove, convert, or replace any electrical, gas, mechanical or plumbing system, the installation of which is regulated by code, or to cause any such work to be done, you shall first make application for a building permit and obtain the required permit for the development.
11. Applicant shall submit a completed building permit application with detailed scope of work, 3 complete sets of plans, calculations, specifications, etc. for review. Appropriate plan review fees shall be paid at the time of submittal.

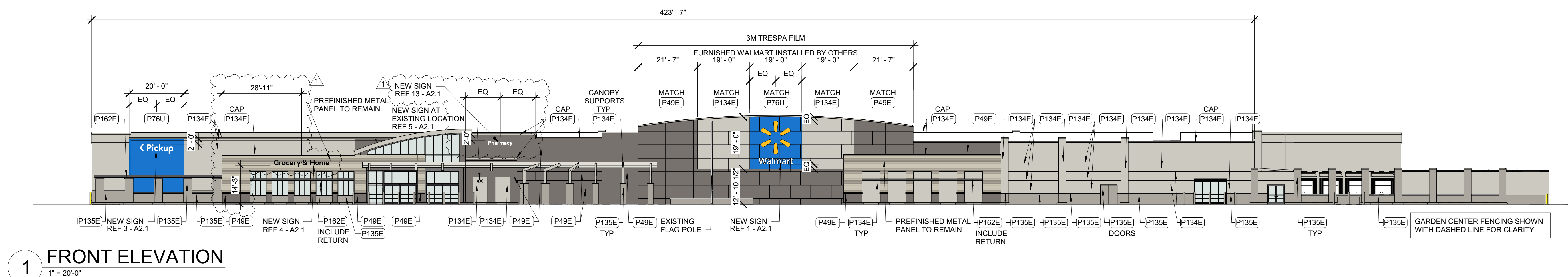
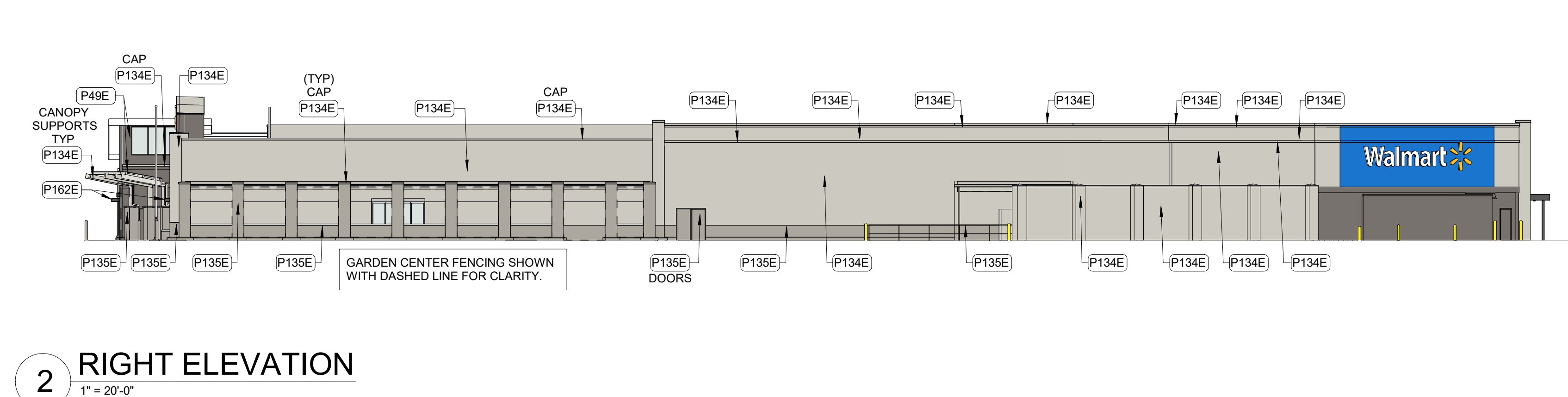
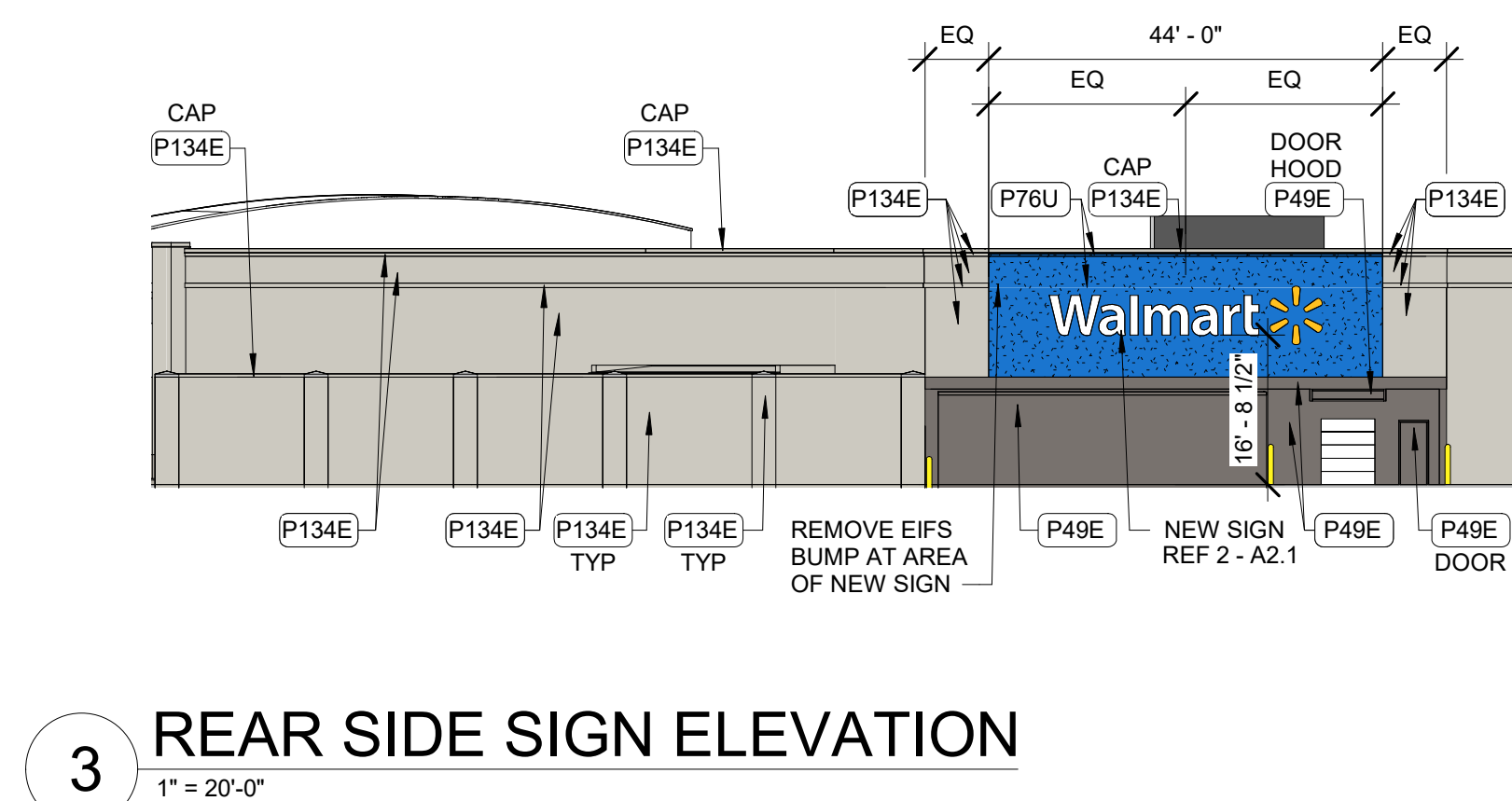
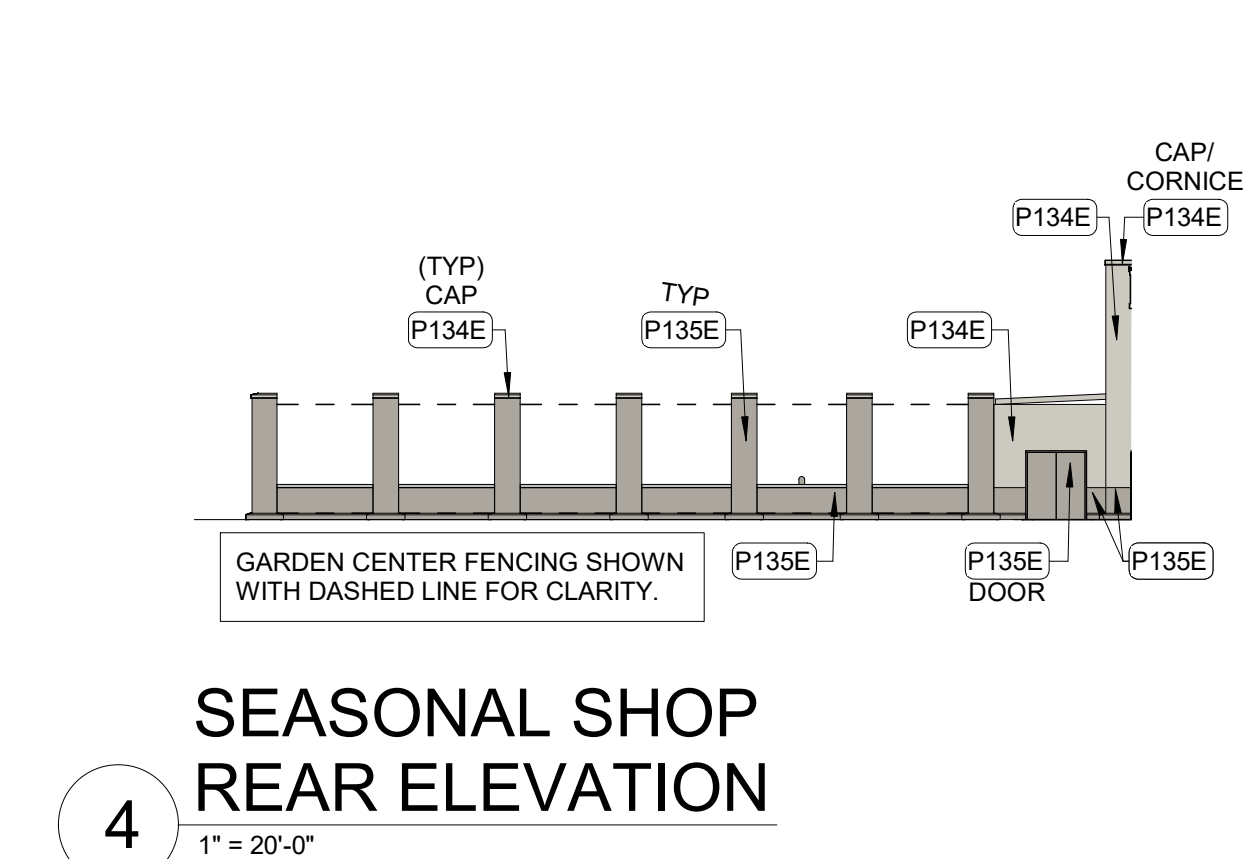
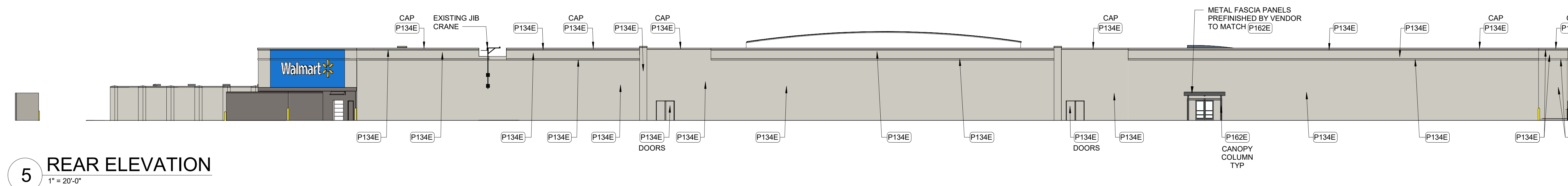
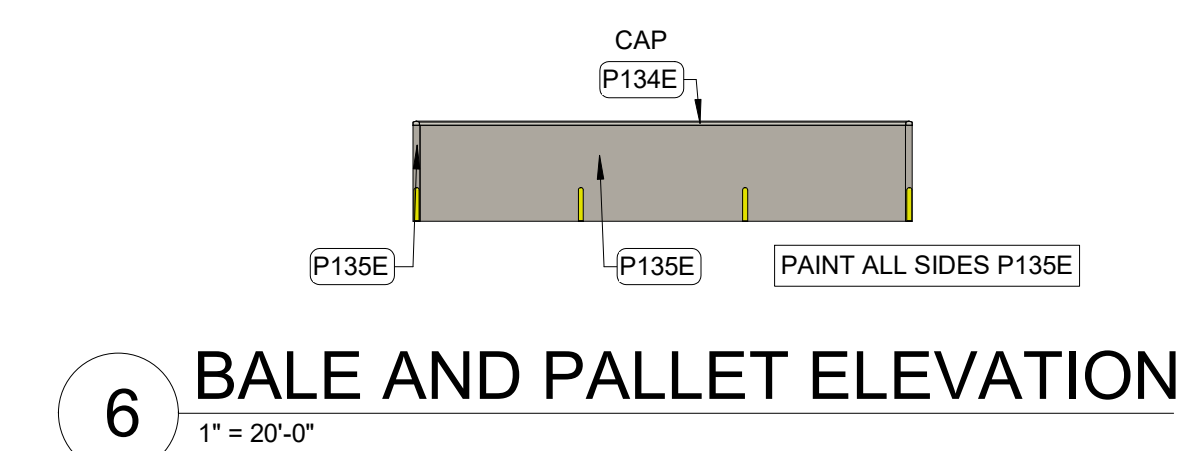
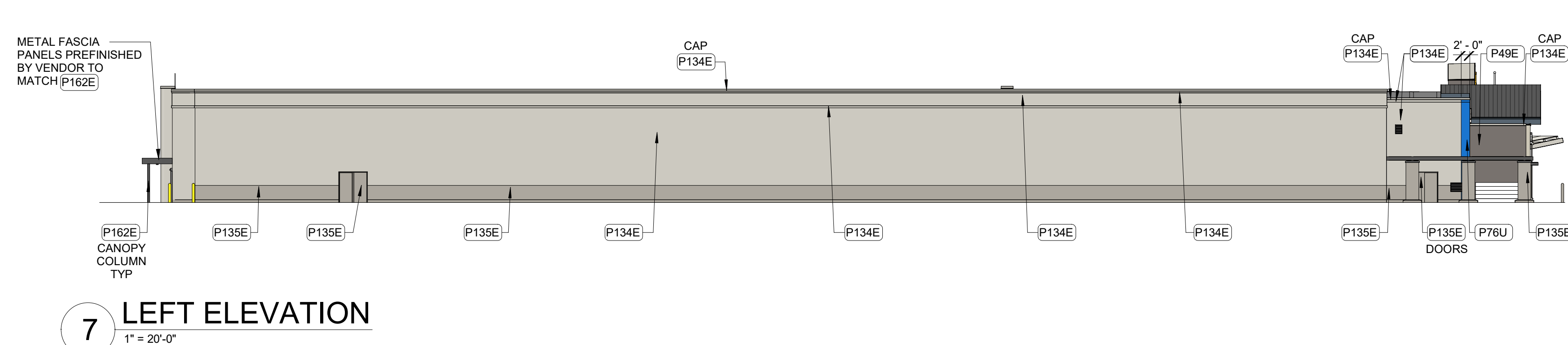
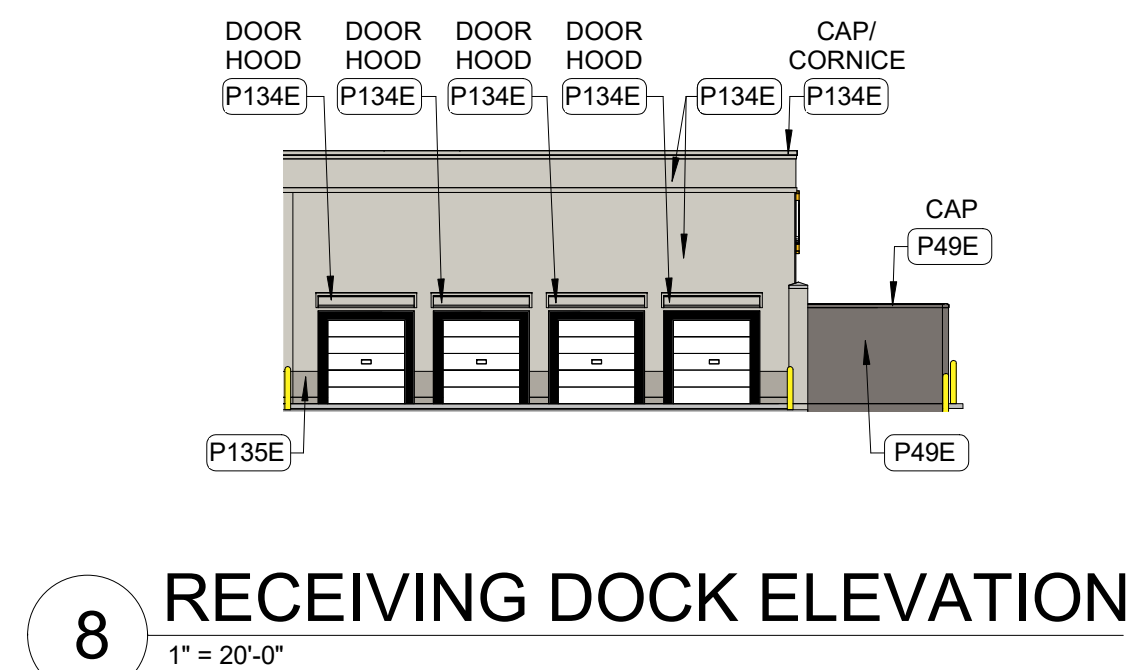
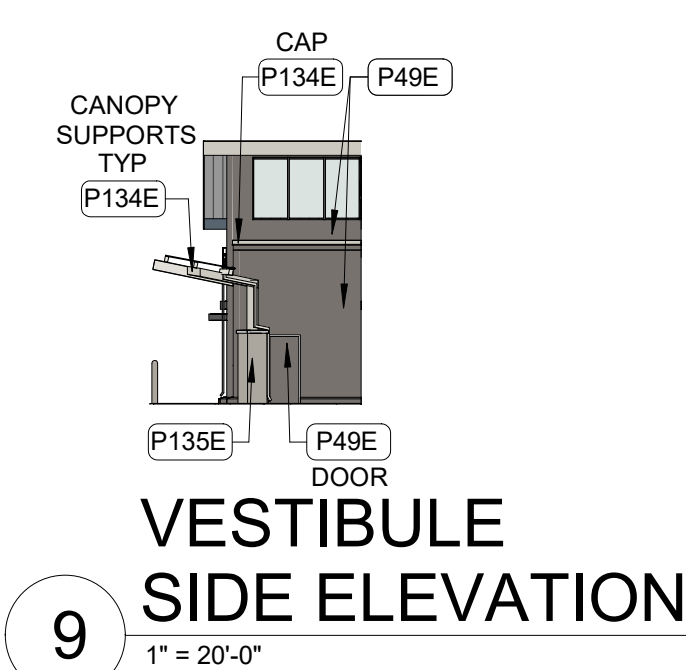
12. All work shall comply with current applicable Federal, State, local building codes and ordinances and be shown on the plans submitted for building permit review.
13. Conditions of approval shall be shown on the plans submitted for building permit review.
14. Prior to issuance of a Building Permit for the construction of any structures on the site, a Final Lighting Plan shall be submitted to the City and reviewed by the Engineer. The final lighting plan shall include, but not limited to the following: (a) details regarding exterior lighting with lighting sources that are full cut-off, hooded, and down-cast, or otherwise shielded to ensure that light does adversely shine towards neighboring properties or toward the night sky, (b) lighting sources with the minimum wattage necessary to provide adequate security without causing excessively bright night glow, (c) sufficient details regarding the proposed wattage and area of coverage for all site lights.



SITE ID A
REF 11 - A2.1

SITE ID B
REF 12 - A2.1

DEMOLITION NOTES		COLOR LEGEND		SHEET NOTES	
1. NOT USED. 2. REMOVAL OF BUILDING MOUNTED ITEMS, SHOWN OR NOTED TO BE DEMOLISHED OR AS REQUIRED BY SCOPE OF WORK, SHALL OCCUR PRIOR TO PAINTING BUILDING. a. COORDINATE DEMOLITION WORK SO EXTERIOR PAINTING WILL OCCUR PRIOR TO INSTALLATION OF BUILDING MOUNTED ITEMS.		P#	COLOR NAME	1.	PATCH AND REPAIR EXTERIOR WALL SURFACES, DAMAGED OR EXPOSED DUE TO REMOVAL OF BUILDING MOUNTED ITEMS, TO MATCH ADJACENT AS REQUIRED.
		P5E	SAFETY YELLOW (OSHA STANDARD)	2.	REFER TO DETAILS ON SHEET A2.1 FOR SUBSTRATE AND FINISH REQUIREMENTS AT LOCATIONS OF BUILDING MOUNTED SIGNS.
		P21E	SAFETY RED	3.	RESURFACE EXISTING EIFS TO NEAREST PLANE WHERE SIGNAGE IS BEING REMOVED OR REPLACED.
		P33E	CREAM	4.	NOT USED.
HATCH LEGEND  EIFS AREA TO BE RESURFACED (REF SPEC)		P36E	BLACK	5.	PRIOR TO PAINTING WALL AT LOCATION(S) OF LIT (O/LOGO SIGN(S)), COORDINATE SCOPE OF WORK WITH WALMART CM.
		P49E	DARK GRAY	6.	IF PAINTING ADJACENT WALLS PAINT FRAMES, AND DOWNSPOUTS, EXPOSED METAL FLASHING, HANDRAILS, AND EXPOSED MISCELLANEOUS STEEL, TO MATCH PRIMARY ADJACENT BUILDING COLOR UNO.
		P76U	WALMART BLUE (URETHANE-LIKE)	7.	PAIN ANY ROOFTOP GAS PIPING (PSE)
		P134E	LIGHT GRAY	a.	WHERE EXTERIOR WALL IS BEING PAINTED, GAS PIPE ALONG SIDE WALL TO GRADE SHALL MATCH ADJACENT BUILDING.
		P135E	MEDIUM GRAY	b.	DO NOT PAINT METER OR VALVES.
		P162E	BLACK GRAY	8.	IF PAINTING ADJACENT WALLS PAINT CANOPY STRUCTURAL STEEL AND FLASHING TO MATCH ADJACENT WALL UNO.
				9.	WHERE CANOPIES ARE VISIBLE TO AND ACCESSED BY CUSTOMERS, PAINT UNDERSIDE OF CANOPY DECK (P33E) DO NOT PAINT CANOPY DECK IF NOT PREVIOUSLY PAINTED
				10.	INSTALL GRAY BOLLARD SLEEVES AT ALL ENTRANCE BOLLARDS; PAINT ALL SAFETY BOLLARDS PSE
				11.	PAINT ALL OTHER PAINTED/DECORATIVE BOLLARDS P135E
				11.	PAIN SECURITY WALL PACK HOUSINGS TO MATCH ADJACENT WALL. REMOVE PAINT OVERSPRAY FROM LENSES.
				12.	DO NOT PAINT LED WALL PACK HOUSINGS
				13.	PAIN GARDEN CENTER FENCE STEEL DOORS AND FRAMES(P36E)
				14.	PAINT STEEL DOORS AND FRAMES TO MATCH ADJACENT BUILDING WALL. IF THERE ARE TWO COLORS AT ADJACENT WALL, USE BOTTOM COLOR FOR ENTIRE DOOR AND FRAME.
				15.	DO NOT PAINT QUIK-BRIK, STONE VENEER, FACE BRICK, UNPAINTED TILT-WALL OR PRECAST PANELS
				16.	AT MASONRY LOCATIONS WHERE SIGNS ARE BEING REPLACED, REMOVE AND PAINT AREA BEHIND SIGN TO MATCH EXISTING COLOR. REF SPEC 09900.
				17.	PAIN JIB CRANE(P36E UNO JIB BOOM, P5E UNO HANDRAILS)
				18.	PAIN SPRINKLER VALVES P21E
				a.	DO NOT PAINT OVER SIGHT GLASS OR FIRE ALARM BELL.

[illegible]

CHECKED BY:	GK
DRAWN BY:	CL
PROTO:	131E
PROTO CYCLE:	04.26.2024
DOCUMENT DATE:	07.15.2024



DOCUMENTS THAT DO NOT
HAVE THE ARCHITECT OR
ENGINEER OF RECORD SEAL
AND SIGNATURE SHALL BE
CONSIDERED NOT FOR
CONSTRUCTION

EXTERIOR ELEVATIONS

SHEET: A2

SIGNAGE GENERAL NOTES

- SIGNAGE FURNISHED BY WAL-MART AND INSTALLED BY GC.
- ALL EXISTING WALMART EXTERIOR SIGNAGE IS TO REMAIN IN PLACE ON THE BUILDING UNTIL THE GC SIGN COMPANY IS ONSITE. THE EXISTING SIGNAGE WILL THEN BE REMOVED, PATCH AND REPAIR WORK WILL BE COMPLETED AT SIGN LOCATIONS, AND SIGNAGE WILL BE INSTALLED PER PLANS.
 - A TEMPORARY BANNER WILL BE INSTALLED PRIOR TO REMOVAL OF EXISTING EXTERIOR SIGNAGE. BANNER WILL REMAIN IN PLACE UNTIL ALL MODIFICATIONS AND/OR REPAIRS HAVE BEEN COMPLETED AND SIGNAGE IS INSTALLED.
 - TEMPORARY BANNER WILL BE APPROXIMATELY 125 SF (9'x29').
 - EXTERIOR SIGN WORK NEEDS TO BE SCHEDULED, COORDINATED, AND COMPLETED DURING WEEK 6 OF THE CONSTRUCTION SCHEDULE.
- GENERAL CONTRACTOR RESPONSIBILITIES
 - BY END OF FIRST WEEK OF CONSTRUCTION, REVIEW EXISTING CONSTRUCTION WHERE SIGNS WILL BE INSTALLED. IF EXISTING CONDITIONS DO NOT MATCH SIGN ATTACHMENT DETAILS SHOWN, REQUEST APPROVAL FROM CONSTRUCTION MANAGER TO SUBMIT RFI IN ACCORDANCE WITH SECTION 01255. NOTE DIFFERENCES IN CONSTRUCTION, INCLUDING DIMENSIONS, AND INCLUDE PHOTOGRAPHS FOR CLARIFICATION.
 - PROVIDE SUBSTRATE SUITABLE FOR INSTALLATION OF SIGNAGE. REFER TO SIGN DETAILS FOR LIGHTED ID/LOGO SIGNS.
 - PROVIDE JUNCTION BOXES AND CIRCUITRY TO "Walmart" and "spark" SIGNAGE. EXISTING (8) BOXES FROM "WAL-MART" SIGNAGE MAY BE REUSED.
 - PROVIDE JUNCTION BOXES AND CIRCUITRY TO TENANT SIGNAGE LOCATION SHOWN. REFER TO ELECTRICAL.
 - INSTALL ACCESS DOORS AND FRAMES IN GYPSUM BOARD CEILINGS IF REQUIRED BY RELOCATION OF EXISTING TENANT SIGNAGE.
 - VERIFY VOLTAGE AT CIRCUITS FEEDING LIGHTED SIGNAGE. REFER TO ELECTRICAL.
 - MAKE FINAL TERMINATIONS ON LIGHTED SIGNAGE.
 - REMOVE ALL LIT ID/LOGO SIGNS AND UNLIT EXTERIOR STUD MOUNTED BUILDING SIGNS UNLESS NOTED OTHERWISE.
 - MAKE REQUIRED EXTERIOR WALL PENETRATIONS, INSTALL CONDUIT, AND SEAL PENETRATIONS PER SPECIFICATION SECTION 07900.
 - INSTALL SIGNAGE PER DETAILS.

EXISTING SIGNAGE SCHEDULE

SIGNAGE LOCATION	QTY	LIGHTED	COLOR	SIZE	INDIVIDUAL AREA	TOTAL AREA
FRONT SIGNAGE						
Walmart	1	LED	WHITE	5'-6"	298.00 SF	298.00 SF
" (Spark)	1	LED	YELLOW	8'-0"		
Pickup	1	LED	WHITE	2'-6"	66.76 SF	66.76 SF
" (Spark)	1	LED	YELLOW	4'-4"		
Address Sign (470)	1	N/A	WHITE	2'-6"	0.00 SF	0.00 SF
TOTAL FRONT SIGNAGE						
						364.76 SF
SIDE SIGNAGE						
Walmart	1	LED	WHITE	3'-6"	120.68 SF	120.68 SF
" (Spark)	1	LED	YELLOW	5'-2"		
TOTAL SIDE SIGNAGE						
						120.68 SF
TOTAL BUILDING SIGNAGE						
						485.44 SF

NEW SIGNAGE SCHEDULE

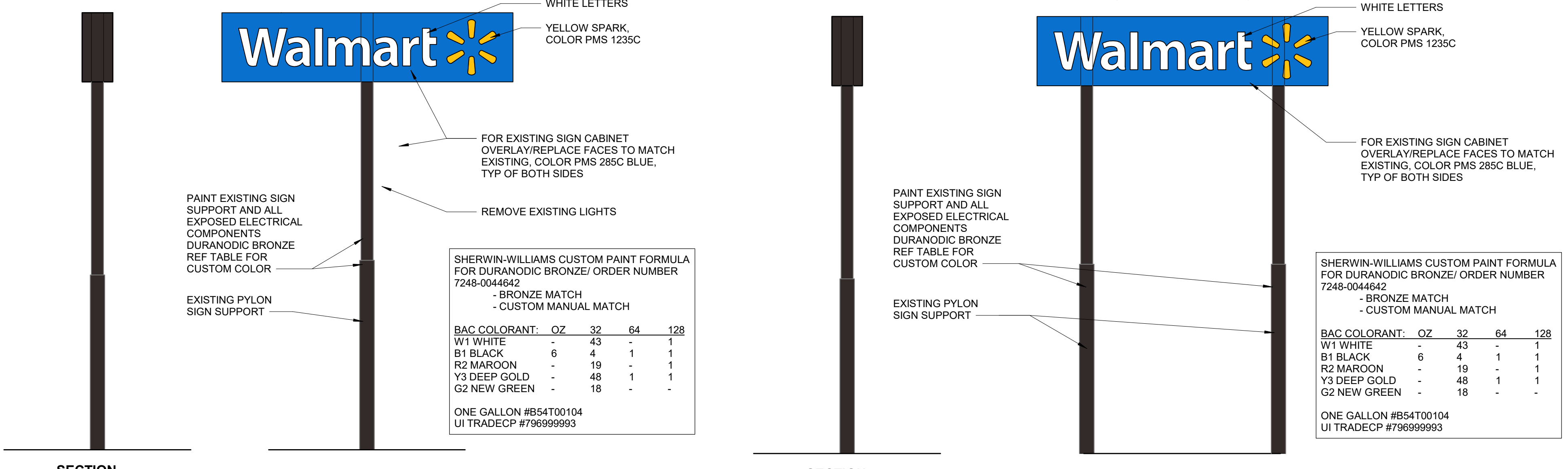
SIGNAGE	QTY	LIGHTED	COLOR	SIZE	AREA (SF)	TOTAL AREA (SF)
FRONT SIGNAGE						
Walmart " (Spark)	1	LED	YELLOW/WHITE	12' - 0"	158.41	158.41
" - Pickup	1	LED	WHITE	2' - 6"	40.83	40.83
Grocery & Home	1	N/A	BLACK	2' - 0"	54.36	54.36
Pharmacy	1	N/A	WHITE	1' - 6"	17.63	17.63
Address Sign (470)	1	N/A	BLACK	1' - 0"	0.00	0.00
FRONT SIGNAGE						
						271.23
REAR SIGNAGE						
Walmart " (Spark)	1	LED	WHITE/YELLOW	4' - 6"	198.25	198.25
REAR SIGNAGE						
						198.25
TOTAL BUILDING SIGNAGE						
						499.48

pb2
architecture
+engineering

4884 W Pauline Whitaker Pkwy
Suite 200
Riverside, CA 92504
Phone: 479.636.3545

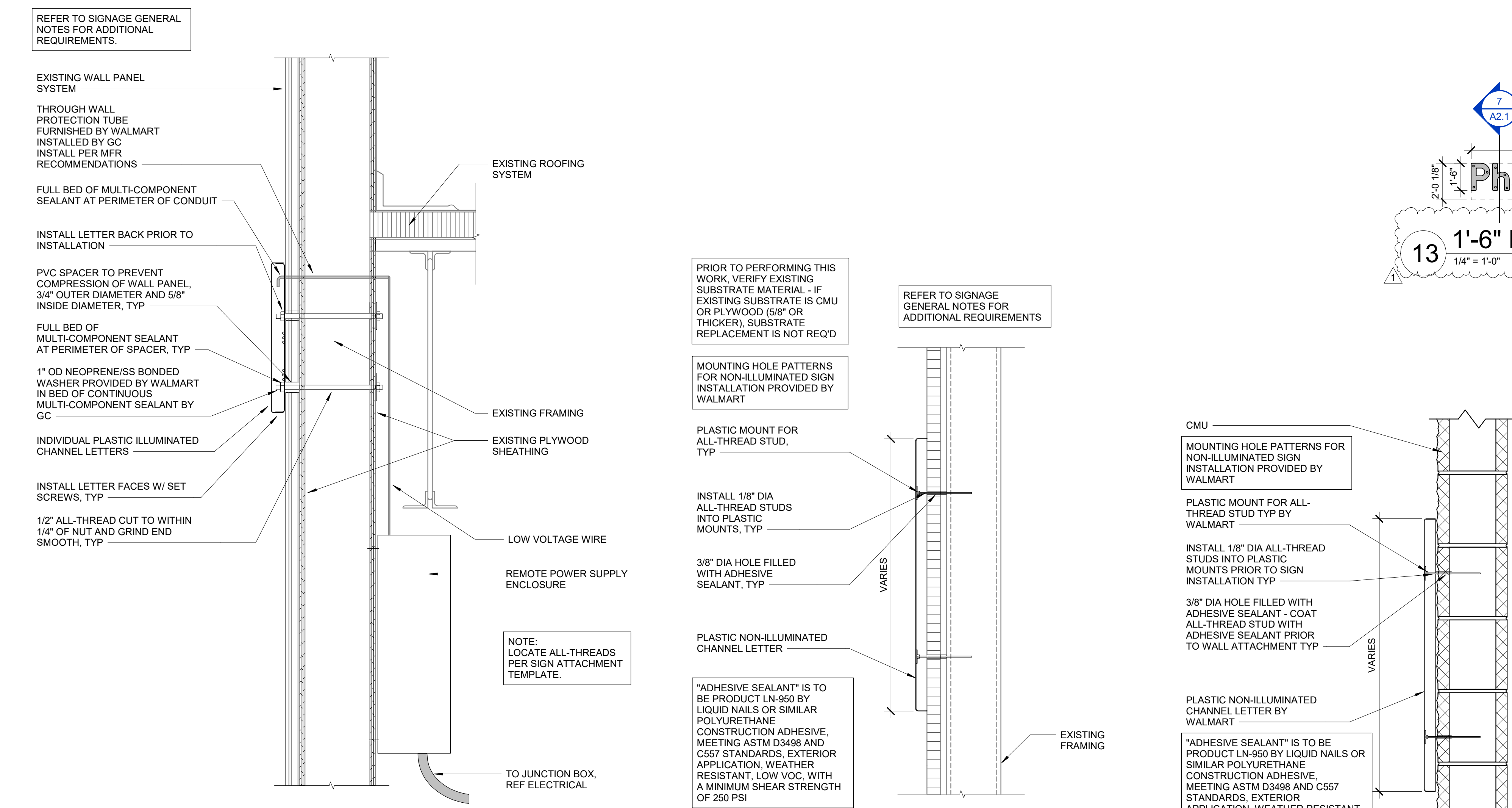
Architect of Record
William Douglas Hurley
California License No. C 29987

STIPULATION FOR REUSE
THIS DRAWING WAS PREPARED FOR THE PROJECT OF THE CLIENT AND IS NOT TO BE REUSED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT. THE ARCHITECT ASSUMES NO LIABILITY FOR THE USE OF THIS DRAWING FOR ANY OTHER PROJECT. THE ARCHITECT'S LIABILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE PROJECT FOR WHICH THIS DRAWING WAS PREPARED. THE ARCHITECT'S LIABILITY DOES NOT EXTEND TO ANY OTHER PROJECTS. THE ARCHITECT'S LIABILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE PROJECT FOR WHICH THIS DRAWING WAS PREPARED. THE ARCHITECT'S LIABILITY DOES NOT EXTEND TO ANY OTHER PROJECTS.



12 PYLON SIGN
3/16" = 1'-0"

11 PYLON SIGN
3/16" = 1'-0"



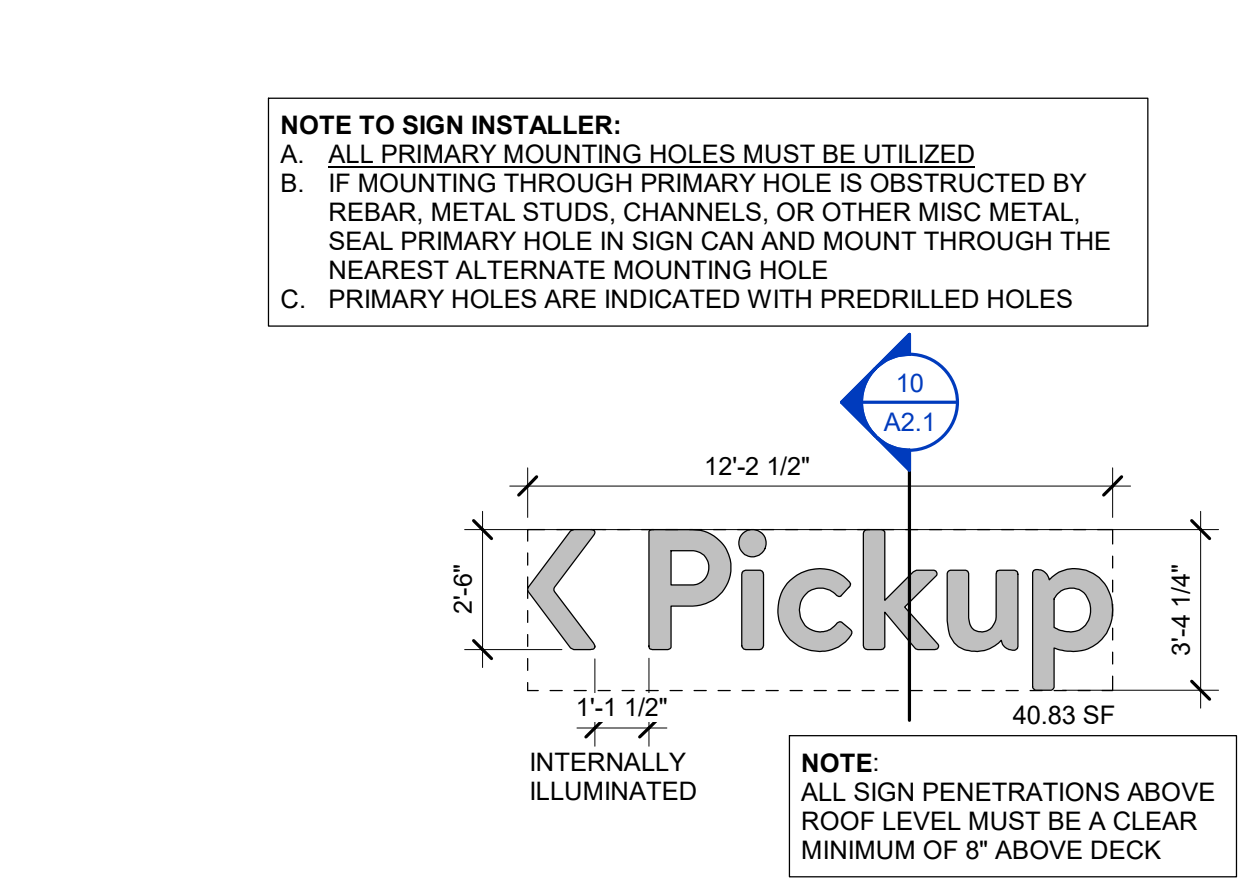
9 SIGNAGE ATTACHMENT AT WALL PANEL
1 1/2" = 1'-0"

8 NONILLUMINATED SIGNAGE ATTACHMENT
1 1/2" = 1'-0"

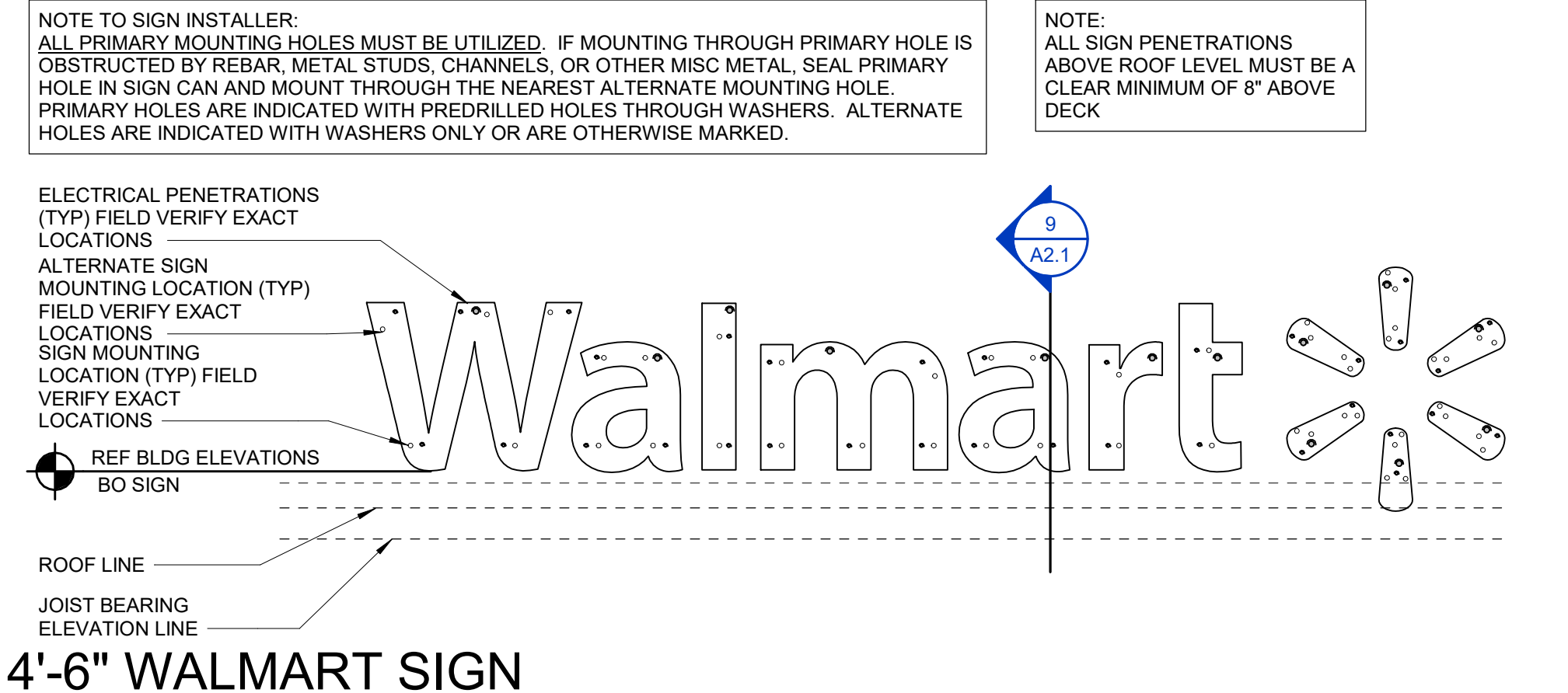
7 NONILLUMINATED SIGNAGE ATTACHMENT
1 1/2" = 1'-0"

6 NONILLUMINATED SIGNAGE ATTACHMENT
1 1/2" = 1'-0"

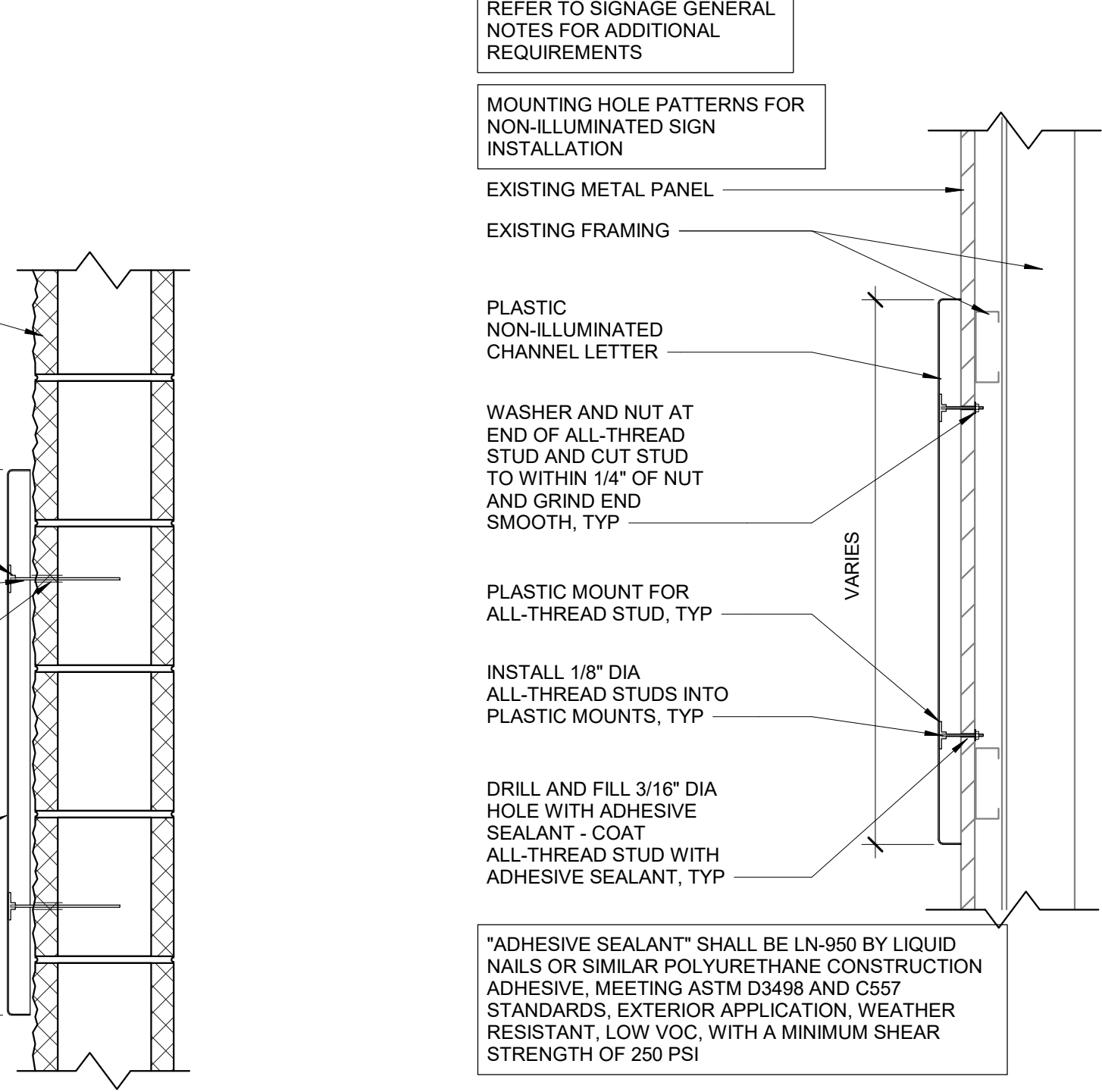
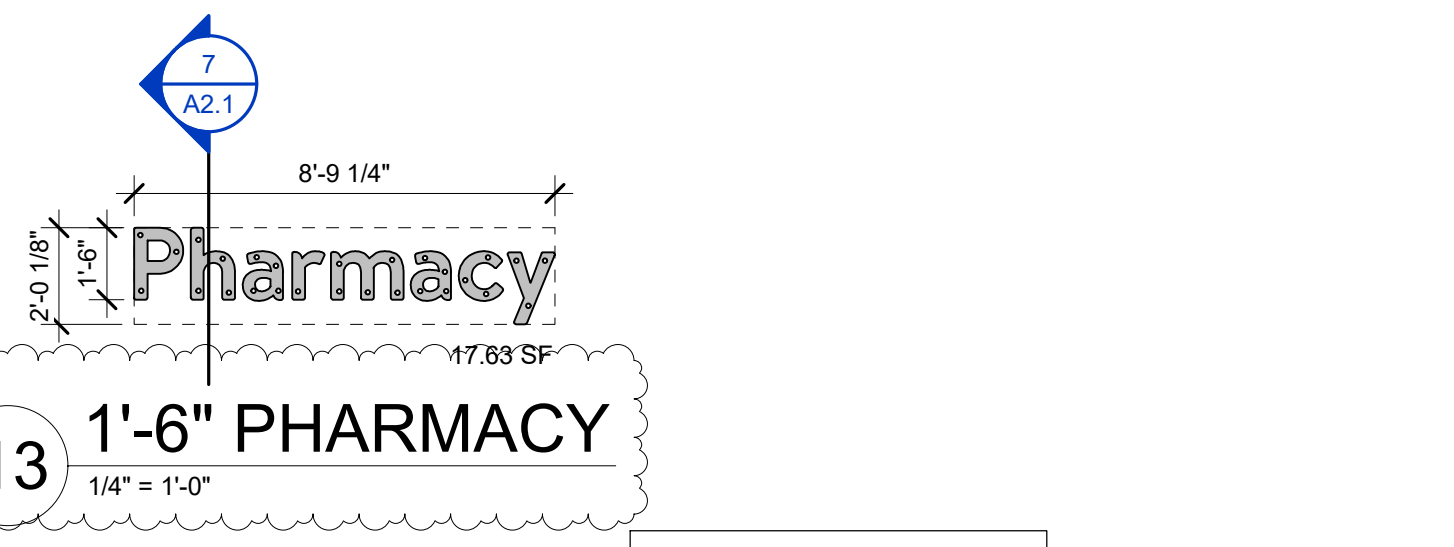
4 2'-0" GROCERY & HOME
1/4" = 1'-0"



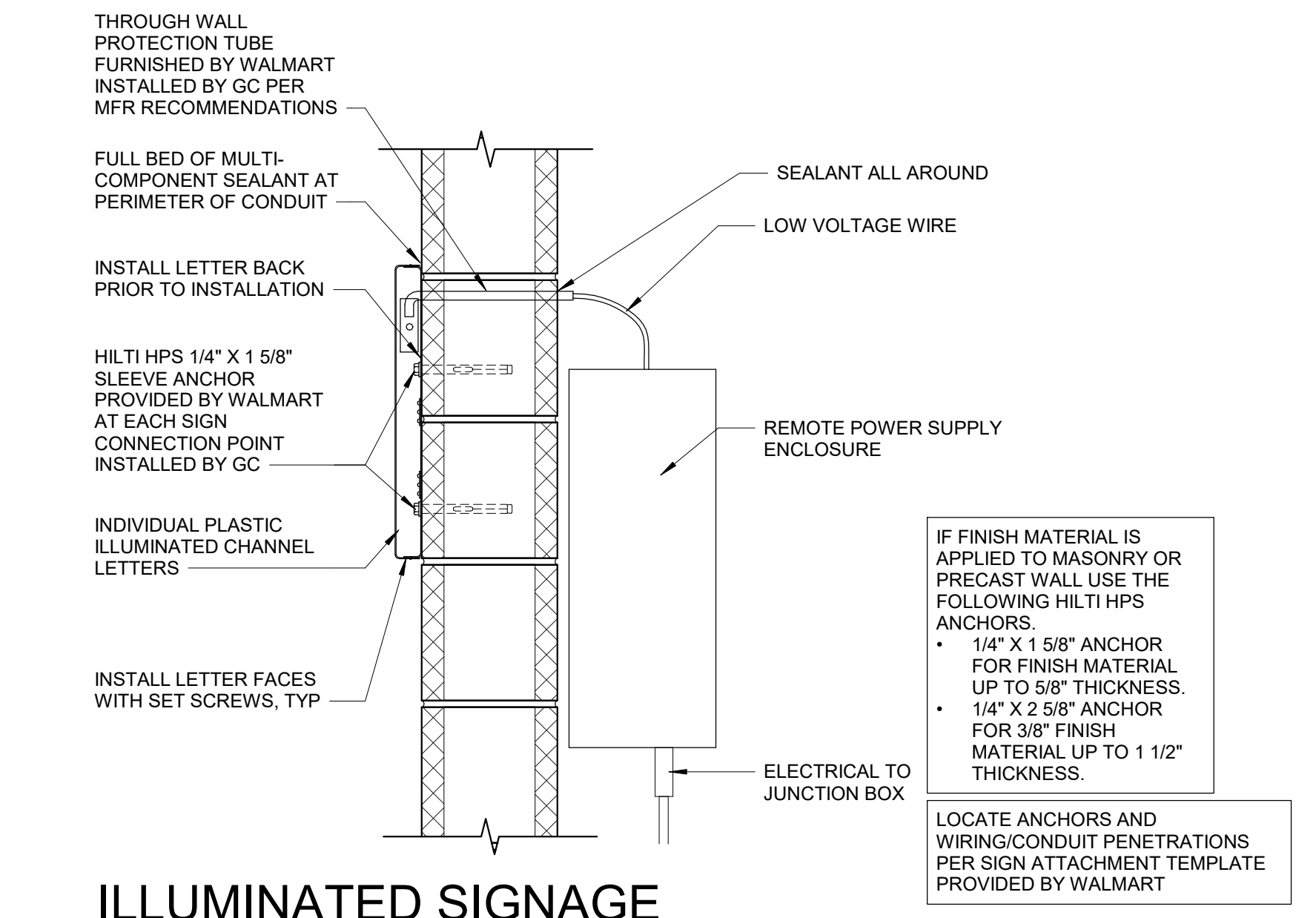
3 2'-6" PICKUP W/LEFT ARROW
1/4" = 1'-0"



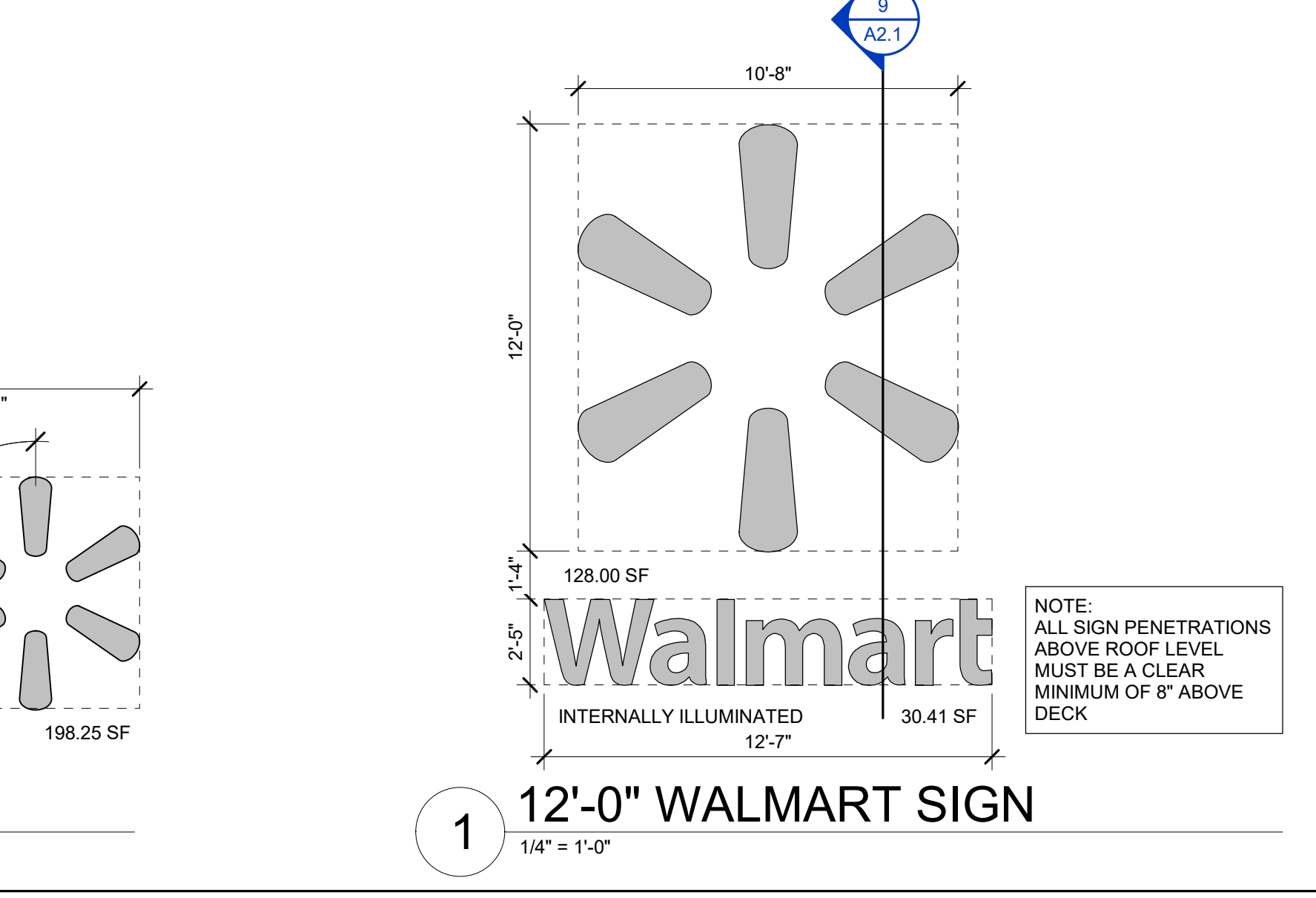
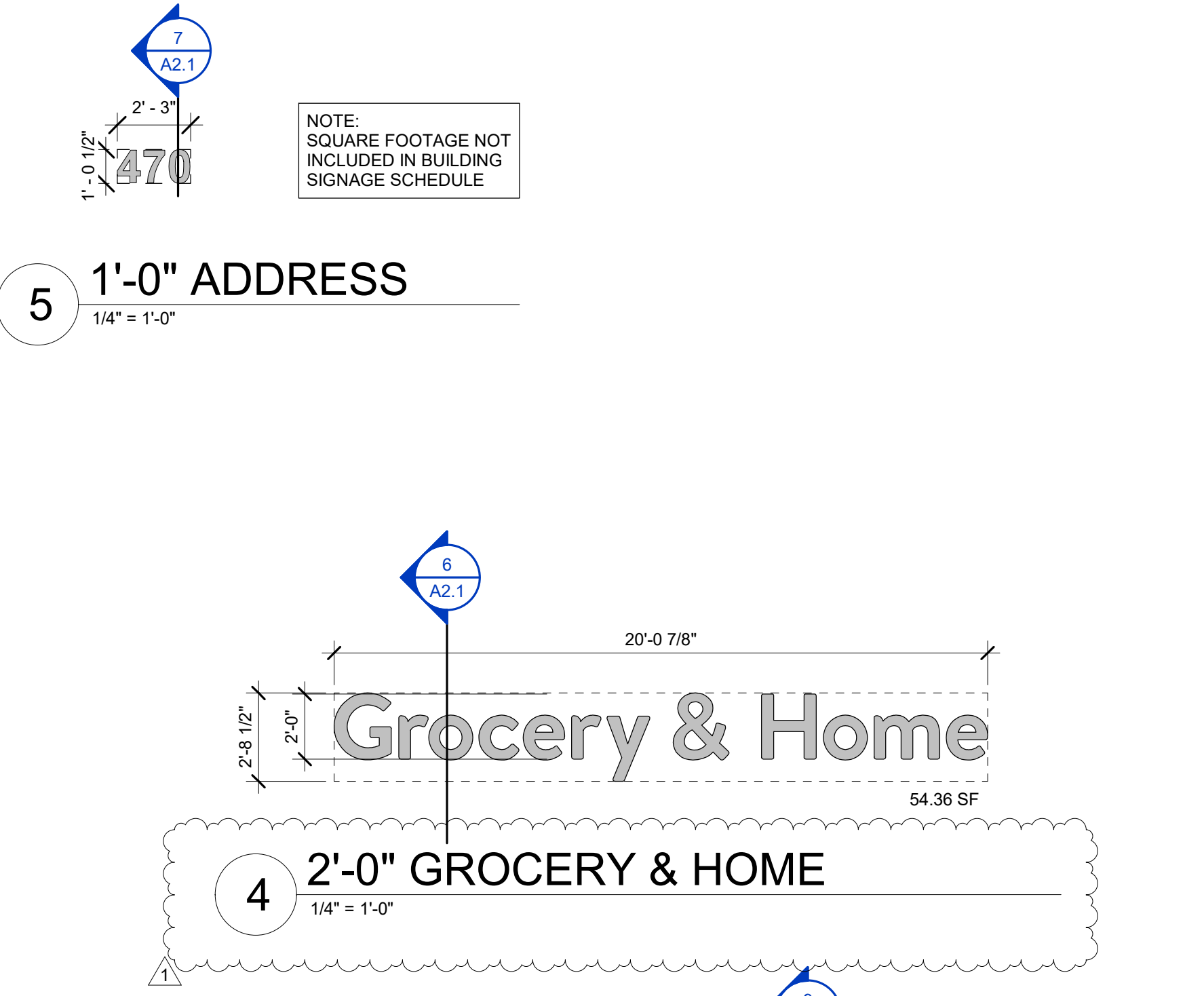
2A 4'-6" WALMART SIGN MOUNTING DIAGRAM
1/4" = 1'-0"



5 1'-0" ADDRESS
1/4" = 1'-0"



10 ILLUMINATED SIGNAGE ATTACHMENT
1 1/2" = 1'-0"



1 12'-0" WALMART SIGN
1/4" = 1'-0"

Walmart

WILLOWS, CALIFORNIA
470 NORTH AIRPORT ROAD
STORE NO. 02063.282

JOB NUMBER: 2023.0787
PROTO: 131E

ISSUE BLOCK

NO.	DATE	DESCRIPTION
1	09.10.2024	PR1

CHECKED BY: GK
DRAWN BY: CL
PROTO: 131E
PROTO CYCLE: 04.26.2024
DOCUMENT DATE: 07.15.2024



DOCUMENTS THAT DO NOT HAVE THE ARCHITECT OR ENGINEER OF RECORD SEAL AND SIGNATURE SHALL BE CONSIDERED NOT FOR CONSTRUCTION.

EXTERIOR SIGNAGE

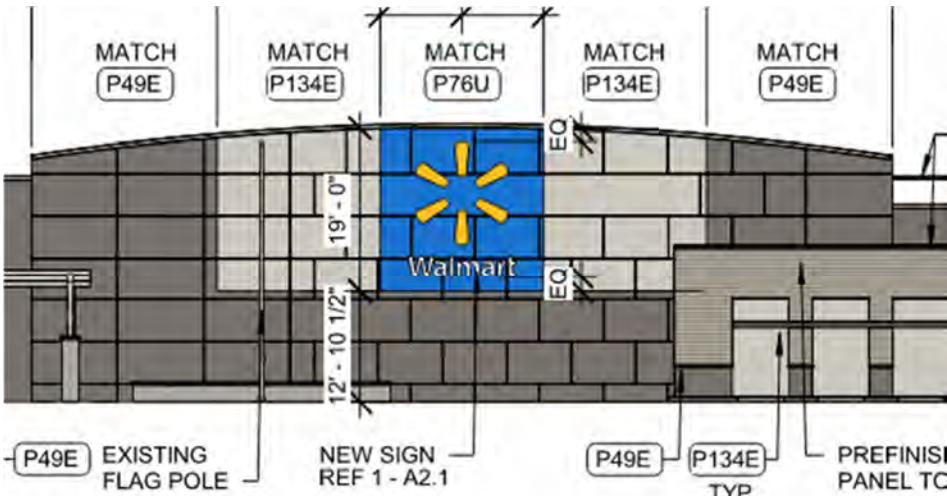
SHEET: A2.1

Walmart Store #2053
Exterior Paint and Sign Proposal
470 Airport Road
Willows, CA

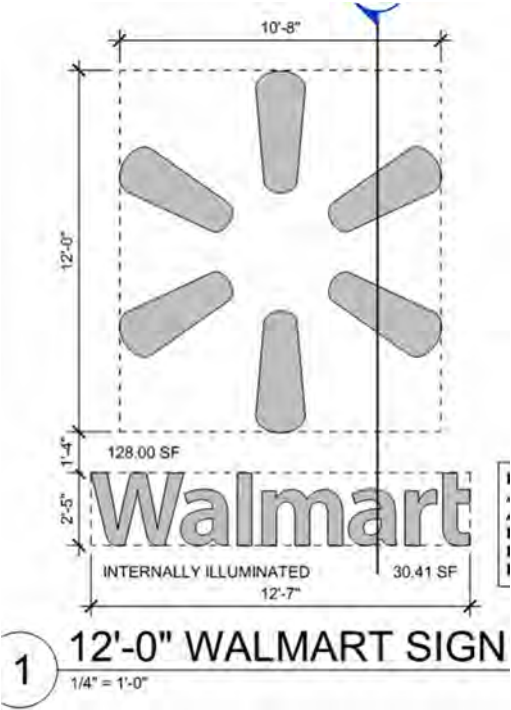
Existing Paint and Walmart Sign (front elevation)



Proposed Paint and New Walmart sign:



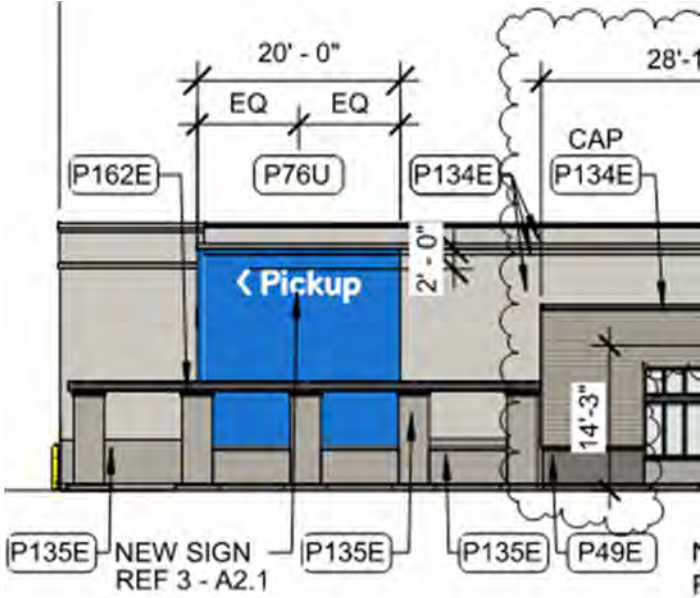
New Sign Detail:



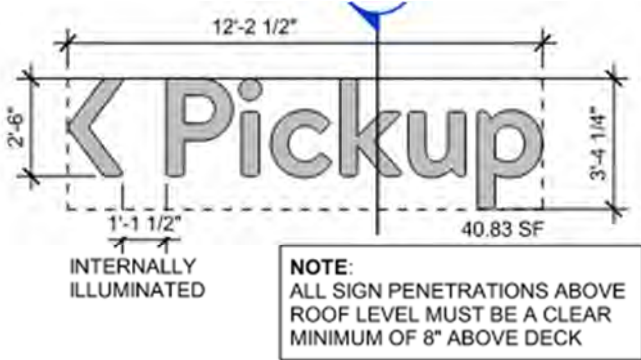
Existing Pickup sign (front elevation):



Proposed Paint and New Pickup sign:

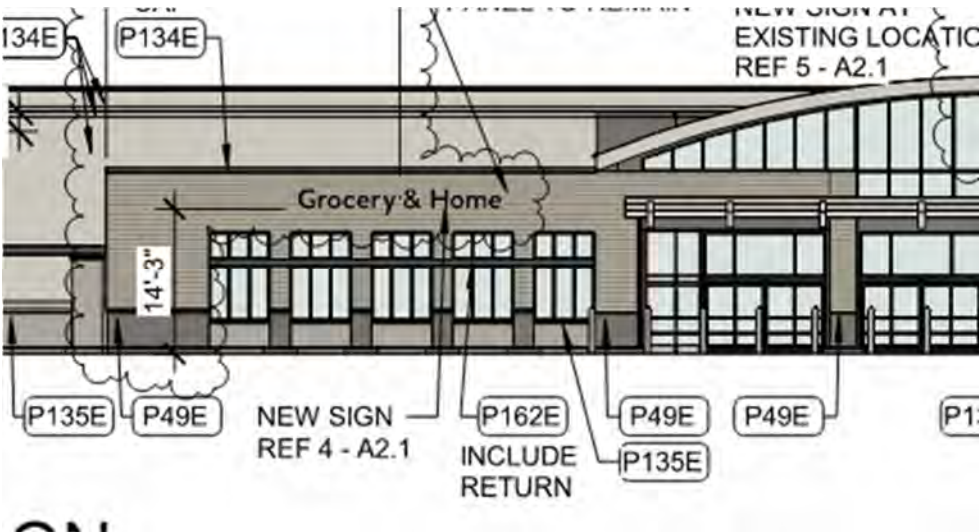


New Pickup sign detail:

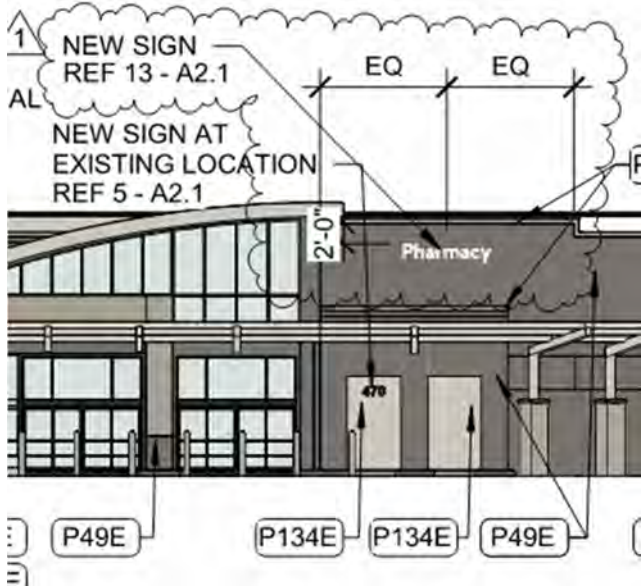


3 2'-6" PICKUP W/LEFT ARROW
1/4" = 1'-0"

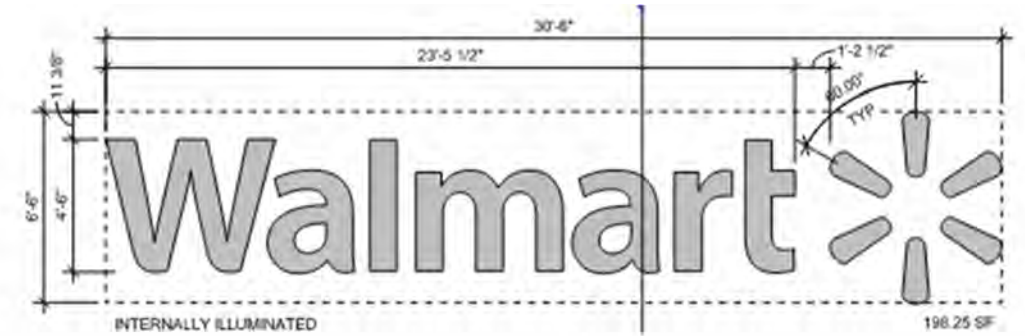
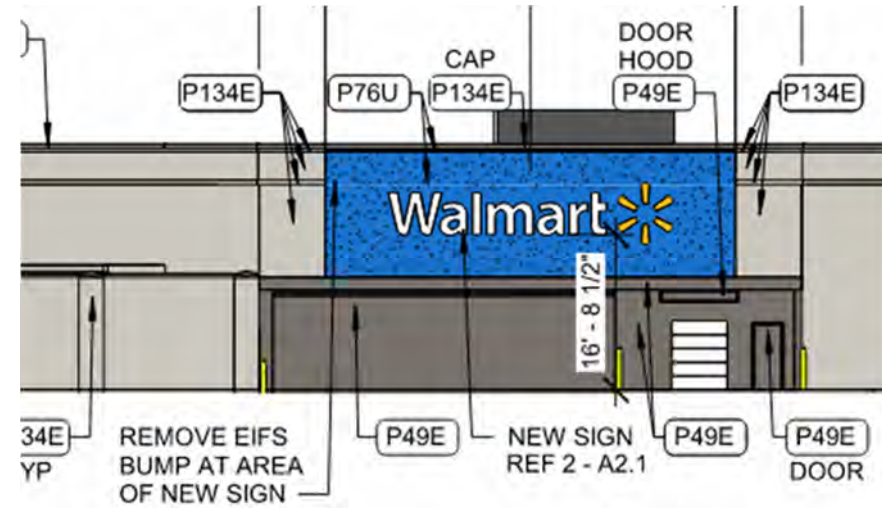
Proposing a new Grocery & Home sign, the proposed location currently does not have a sign:



Proposing a new Pharmacy sign, the proposed location currently does not have a sign:



A photograph of the exterior of a Walmart store. The building is a large, single-story structure with a dark brown or grey facade. The Walmart logo, consisting of the word "Walmart" in white sans-serif font followed by a yellow six-pointed star, is mounted on the upper portion of the wall. To the left of the logo, there is a small, dark, rectangular object, possibly a light fixture or a vent. In the foreground, on the left, there is a blue metal shopping cart. On the right, there is a stack of blue and red pallets, with some boxes of "M&M's" candy visible on top of them. The sky is clear and blue.



	
<p>SITE ID A</p> <p>REF 11 - A2.1</p>	<p>SITE ID B</p> <p>REF 12 - A2.1</p>

Diagram of a Walmart sign with callouts for paint specifications:

- WHITE LETTERS
- YELLOW SPARK, COLOR PMS 1235C
- FOR EXISTING SIGN CABINET OVERLAY/REPLACE FACES TO MATCH EXISTING, COLOR PMS 285C BLUE, TYP OF BOTH SIDES
- PAINT EXISTING SIGN SUPPORT AND ALL EXPOSED ELECTRICAL COMPONENTS DURANODIC BRONZE REF TABLE FOR CUSTOM COLOR
- EXISTING PYLON SIGN SUPPORT

SHERWIN-WILLIAMS CUSTOM PAINT FORMULA FOR DURANODIC BRONZE/ ORDER NUMBER 7248-0044642

- BRONZE MATCH
- CUSTOM MANUAL MATCH

BAC COLORANT:	07	32	64	128
W1 WHITE	-	43	-	1
B1 BLACK	6	4	1	1
R2 MAROON	-	19	-	1
Y3 DEEP GOLD	-	46	1	1
G2 NEW GREEN	-	18	-	1

ONE GALLON #B54T00104
 UI TRADECP #796999993



Existing and Proposed new Signs:

- Overall SF of existing signs is 485.44 SF
- Overall SF of proposed new signs: 469.48 SF
- A decrease of 12.96 SF

EXISTING SIGNAGE SCHEDULE								NEW SIGNAGE SCHEDULE						
SIGNAGE LOCATION	QTY	LIGHTED	COLOR	SIZE	INDIVIDUAL AREA	TOTAL AREA		SIGNAGE	QTY	LIGHTED	COLOR	SIZE	AREA (SF)	TOTAL AREA (SF)
FRONT SIGNAGE								FRONT SIGNAGE						
Walmart	1	LED	WHITE	5'-6"	298.00	SF	298.00	Walmart * (Spark)	1	LED	YELLOW/WHITE	12' - 0"	158.41	158.41
* (Spark)	1	LED	YELLOW	8'-0"				< Pickup	1	LED	WHITE	2' - 6"	40.83	40.83
Pickup	1	LED	WHITE	2'-6"	66.76	SF	66.76	Grocery & Home	1	N/A	BLACK	2' - 0"	54.36	54.36
* (Spark)	1	LED	YELLOW	4'-4"				Pharmacy	1	N/A	WHITE	1' - 6"	17.63	17.63
Address Sign (470)	1	N/A	WHITE	2'-6"	0.00	SF	0.00	Address Sign (470)	1	N/A	BLACK	1' - 0"	0.00	0.00
								FRONT SIGNAGE						
TOTAL FRONT SIGNAGE								364.76 SF						
								REAR SIGNAGE						
								Walmart * (Spark)						
								1 1 LED WHITE/YELLOW 4' - 6" 198.25 198.25						
								REAR SIGNAGE						
								TOTAL BUILDING SIGNAGE						
								469.48						
SIDE SIGNAGE														
Walmart	1	LED	WHITE	3'-6"	120.68	SF	120.68							
* (Spark)	1	LED	YELLOW	5'-2"										
TOTOAL SIDE SIGNAGE								120.68 SF						
TOTAL BUILDING SIGNAGE								485.44 SF						

1

Design Review Analysis
Design Review (DR-24-08)
470 N. Airport Road/APN: 017-310-005

I. Introduction

This Design Review Analysis (Analysis) evaluates the proposed exterior design changes to the existing building located at 470 N. Airport Road, identified by Assessor Parcel Number (APN): 017-310-005. The Analysis focuses on the project's compliance with design review criteria, including building design, site relationship, neighborhood compatibility, material selection, site improvements, and operational considerations.

II. Design Review Analysis

Competent Design

The site contains an existing one-story building with a brown façade and light brown accents. The materials used are consistent throughout the building. The proposed paint changes and updates to building signage will contribute to a visually appealing design for the building.

Relationship Between Structures Within the Development and Between Structures and Site

The Site contains an existing building, and the project does not involve any alterations to the building's position. As a result, there will be no impact on the relationship between the structure and the Site.

Relationship between Development and Neighborhood

The property to the West lies within the County of Glenn's jurisdiction. The adjacent property to the North is zoned as CG/ML/PD (General Commercial/Light Industrial/Planned Development). This area is currently vacant, but the land is being utilized for agriculture. To the South: The property is bordered by land zoned Highway Commercial. Beyond that, the Glenn County Airport lies further south. To the East: The property is adjacent to Interstate 5. The surrounding zoning indicates a mix of commercial and industrial uses.

The surrounding visual characteristics consists of the following:

- West: Agricultural land (orchard).
- South: Willows-Glenn County Airport. A series of metal industrial buildings.
- East: Interstate 5.
- North: A water tower. Beyond that is more agricultural land.

Materials and Colors Used

The existing building will be painted primarily a light gray. The bottom of the building will be accented with a medium gray. There will be dark gray accents on both the front and rear façade. "Walmart blue" will be used at the proposed brand sign locations. Further descriptions of the proposed colors is included in the signage plan (Attachment #5).

Wall and Fencing

No new walls or fences around the property perimeter are proposed with this project.

Surface Water Drainage

No changes to the Site regarding surface water drainage is proposed with this project.

Drives, Parking and Circulation

No changes to the Site regarding driveways, parking, and circulation is proposed with this project.

Utility Service

No changes to the Site regarding utility services is proposed with this project.

Signs

The sign plans submitted also propose the replacement of the two existing pole signs on the site. As these are replacements of existing signs further analysis is not provided. This project will install other new signage to advertise and sell their products. More discussion on signage under Use Permit, as the proposed amount of incidental signage exceeds the allotted amount per the sign code.

Exterior Lighting

No changes to the Site regarding exterior lighting is proposed with this project.

Landscaping

No changes to the Site regarding landscaping is proposed with this project.

III. Conclusion

Per Section 18.141.070(1), an application for design review may be approved, approved with modifications, conditionally approved, or disapproved.