



Willows Planning Commission Regular Meeting Agenda

December 14, 2022, 6:00 pm

Willows City Hall
201 N Lassen Street
Willows, CA 95988

Planning Commission
Pedro Bobadilla, Chair
Candis Woods, Vice Chair
Kelly Burt, Commissioner
Lorri Pride, Commissioner
Rose Marie Thrailkill-Pellizzari,
Commissioner
City Planner
Karen Mantele

Minute Clerk

1. CALL TO ORDER
2. PLEDGE OF ALLEGIANCE
3. ROLL CALL
4. CHANGES TO THE AGENDA

5. PUBLIC COMMENT & CONSENT CALENDAR FORUM

All matters on the Consent Calendar are considered routine and are approved by one motion and vote unless Commission Members or the City Planner first requests that a matter be removed for separate discussion and action. Individuals wishing to address the Commission concerning Consent Calendar items or regarding matters that are not already on the agenda are invited to make oral comments of up to three minutes at this time. Please address your comments to the Chairman and Commission members, and not to staff and/or the audience. By State law, the Commission is not permitted to undertake any action or discussion on any item not appearing on the posted agenda. If you have any documentation that you would like distributed to the Commission, please mail it to the City Planner at 201 North Lassen Street, Willows, CA 95988 or email it to: kmantele@cityofwillows.org.

a. Minutes Approval

Minutes of the October 19, 2022 and November 16, 2022 Regular Planning Commission Meetings will be available at the January 18, 2023 regular meeting.

Contact Karen Mantele, City Planner, kmantele@cityofwillows.org.

6. Public Hearing(s)

- a. **Design Review- File#DR-22-02/Recommended Action:** Staff recommends Commission receive the staff report, attachments, discuss and upon conclusion, consider the adoption of the attached resolution entitled:

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF WILLOWS GRANTING DESIGN REVIEW APPROVAL (FILE# DR-22-02) TO SURESH PATEL FOR CONSTRUCTION OF A NEW THREE-STORY HAMPTON INN HOTEL AND SITE IMPROVEMENTS FOR PROPERTY LOCATED AT ASSESSORS PARCEL NUMBERS 001-032-025; 001-032-026

Contact Karen Mantele, City Planner, kmantele@cityofwillows.org

- b. **Use Permit File #UP-22-07/Design Review File# DR-22-04/ Recommended Action:** Staff recommends Commission receive the staff report, attachments, discuss and upon conclusion, consider the adoption of the attached resolution entitled:

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF WILLOWS APPROVING USE PERMIT (FILE #UP-22-07) TO RE-ESTABLISH THE WILLOWS INN MOTEL BUSINESS AND DESIGN REVIEW APPROVAL (FILE #DR-22-04) FOR EXTERIOR BUILDING AND SITE IMPROVEMENTS FOR PROPERTY LOCATED 725 S. TEHAMA STREET, ASSESSORS PARCEL 001-102-009

Contact Karen Mantele, City Planner, kmantele@cityofwillows.org

- c. **Use Permit File UP-22-08/Design Review File DR-22-06/** Recommended Action: Staff recommends Commission receive the staff report, attachments, discuss and upon conclusion, consider the adoption of the attached resolution entitled:

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF WILLOWS GRANTING USE PERMIT APPROVAL (FILE# UP-22-08) TO SUNDIAL COLLECTIVES WILLOWS LLC TO ALLOW A RETAIL COMMERCIAL CANNABIS DISPENSARY AND DESIGN REVIEW APPROVAL (FILE#DR-22-06) FOR A NEW 9,510 SF RETAIL COMMERCIAL BUILDING AND SITE IMPROVEMENTS FOR PROPERTY LOCATED AT 102 HARVEST DRIVE ASSESSORS PARCEL NUMBER 017-350-008

Contact Karen Mantele, City Planner, kmantele@cityofwillows.org

- d. **Use Permit File# UP-22-05/** Recommended Action: Staff recommends Commission receive the staff report, attachments, discuss and upon conclusion, consider the adoption of the attached resolution entitled:

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF WILLOWS APPROVING CONDITIONAL USE PERMIT (FILE # UP-22-05) FOR BLACK BEAR TO ALLOW 296 SQUARE FEET OF ADDITIONAL POLE SIGNAGE FOR PROPERTY LOCATED AT 246 N HUMBOLDT AVENUE ASSESSORS PARCEL NUMBER 001-041-013

Contact Karen Mantele, City Planner, kmantele@cityofwillows.org

- e. **Use Permit File#UP-22-09/**Recommended Action: Staff recommends Commission receive the staff report, attachments, discuss and upon conclusion, consider the adoption of the attached resolution entitled:

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF WILLOWS APPROVING CONDITIONAL USE PERMIT (FILE # UP-22-09) FOR TBS HOLDINGS/JACK IN THE BOX TO ALLOW 144.04 SQUARE FEET OF ADDITIONAL POLE SIGNAGE AND 148.70 SQUARE FEET OF ADDITIONAL INCIDENTAL SIGNAGE FOR PROPERTY LOCATED AT 1240 W. WOOD STREET ASSESSORS PARCEL NUMBERS 001-041-014 & -015

Contact Karen Mantele, City Planner, kmantele@cityofwillows.org

7. COMMENTS & REPORTS

- a. Commission reports/Comments
- b. Staff Reports/Comments

8. ADJOURNMENT

This agenda was posted on December 8, 2022

Tara Rustenhoven

Tara Rustenhoven, Deputy City Clerk

A complete agenda packet, including staff reports and back-up information, is available for public inspection during normal work hours at City Hall or the Willows Public Library at 201 North Lassen Street in Willows or on the City's website at www.cityofwillows.org.

In compliance with the Americans with Disabilities Act, the City of Willows will make available to members of the public any special assistance necessary to participate in this meeting. If requested, the agenda shall be made available in appropriate alternative formats to persons with a disability, as required by Section 202 of the Americans with Disabilities Act of 1990 (42 U.S.C. Sec. 12132). The public should contact the City Clerk's office at 934-7041 to make such a request. Notification 72 hours prior to the meeting will enable the city to make reasonable arrangements to ensure accessibility to this meeting.

The City of Willows is an Equal Opportunity Provider



Date: December 14, 2022

To: Planning Commission/Architectural Design Review Board

From: Karen Mantele, Principal Planner

Subject: New Construction of a Hampton Inn/ Design Review (File#DR-22-02)

Recommendation:

Staff recommends receive the Staff Report, attachments, discuss, and upon conclusion, adopt the attached resolution .

Rationale for Recommendation:

The property is located in the CH (Highway Commercial) zone. Motels and hotels are a permitted use within this zone per 18.65.020(1); therefore, no use permit is required.

All new commercial buildings and site improvements must obtain Architectural Design Review approval from the Commission/ADRB per Chapter 18.141.030(1).

Background:

A 100-room, single-story, 45,472 SF motel structure was previously located on the project property site, built in the 1970's. Several years ago, the building and site was demolished as the structure was fire damaged. The applicant purchased the property and desires to carve out four parcels from the four existing parcels, by a Lot Line Adjustment, using one of the parcels to construct the proposed Hampton Inn on. The Lot Line Adjustment is currently being reviewed by the City Engineer and will be brought to the Commission for final approval upon the engineer's review and approval of the submittal documents.

Discussion & Analysis:

The proposal submitted to the city for review is a three-story, 82-room, 48,898 SF Hampton Inn Hotel with an indoor pool and spa. The square footage of the proposed Hampton Inn Hotel is:

- Ground Floor SF = 17,572 SF
- Second Floor SF = 15,663 SF
- Third Floor SF = 15,663 SF
- **TOTAL SF = 48,898 SF**

The proposed Hotel will sit on a newly created parcel via a Lot Line Adjustment, and result in a 2.531-acre site. Regulations for commercial uses in this district, regarding setbacks are; none for front and side yards, with the rear yard setback requiring 12-feet for loading purposes if the access is via a street or alley ,and that the building may project over the rear yard, where building code regulations would apply. That is not the case with this location, as the building will be situated closer to the eastern/street side.

Maximum building height is 35-feet for this zone. The site plan shows the building height of 29-feet 4inches with an extended roof to shield the mechanical equipment from the public. The project plans were sent to the FAA/Caltrans office of Aviation Planning for comments. The statements submitted were that the site appears to be located in the “overflight zone” where the Land Use Guidelines allows hotels and outside of any noise contours of concern as depicted in the Comprehensive Airport Land Use Plan for the Willows Glenn County Airport. The Division does not have Part 77 concerns as it relates to airspace protection.

Since the initial submittal of the Hotel plans (attached), the applicant has informed staff that he may increase the number of rooms from 82-rooms to 94. A new site plan has not been received to reflect that number of rooms; however, a condition has been added to the draft conditions that should this be the case, a revised site plan shall be submitted to the city for review and approval. Per the City Engineer, if the larger building maintains the same location, but will extend west to accommodate more rooms per floor, the revised site plan shall reflect the additional building size, number of parking spaces, and landscaping, to be in compliance with the WMC.

Design Review/Project Analysis:

Materials and Colors Used. The exterior color of the three-story building is multicolored, in the shades of off white/grays, and cobalt blue, with an aluminum composite brown color wood grain paneling – which looks like wood veneer, for accent in several locations around the building, with a touch of cultured stone veneer.

Relationship between Structures within the Development and between Structures and Site: This new building will be the first part of the applicants’ plan to develop a hotel first and then the adjoining parcels. Since the previous motel burned, this new building will be an improvement to the site.

Relationship between Development and Neighborhood: The development of a three-story 48,898SF building will be taller than the previous motel, which was one story. However, there are buildings in the neighborhood which are two story, therefore this new development would not be so out of character for the neighborhood.

Drives, Parking and Circulation: Off-street parking facilities shall be provided for any new building constructed. The site plan submitted indicates ninety-three parking spaces and is more than the parking code requires for this size hotel. The site plan also shows additional parking spaces west of the hotel for RV parking. There are twelve parking spaces for this type of vehicle shown on the site plan.

The parking code for hotels requires one parking space per sleeping unit plus two for managers. Should the number of rooms increase to 94, the required number of parking spaces will increase and shall be

shown on a revised site plan. Additionally, the size of the parking spaces shown will need to be revised as they do not meet the parking code size. This has been relayed to the architect of record for the project and will be reflected in the revised site plan. Parking facilities containing six through 40 spaces, inclusive, shall include one handicapped parking space permanently signed with the international symbol of accessibility. One more handicapped space shall be provided for each additional 40 spaces or increment thereof. The site plan indicates four handicap parking spaces, including one van accessible space. Five electrical vehicle charging stations will be installed on the property.

There are two proposed entrances to enter the hotel site: one on the north end and one on the south, providing sufficient circulation for both hotel users and emergency vehicles.

Per WMC 18.120.030, off street loading facilities are required, requiring one loading space for the first 10,000 SF of gross floor area and one additional loading space for each 35,000 SF of gross floor area. This would require the proposal to have two loading spaces. These are not shown on the site plan, however, will need to be shown on the revised site plan.

Wall, fences, or screening: The site plan indicates a six-foot high black wrought iron fence will be installed around the perimeter of the hotel site. There will be roof top mechanical equipment installed and will be screened by the additional wall.

Lighting. On-site light standards and building lighting will be installed and shall comply with requirements that lighting shall not glare onto adjacent property. A photometric lighting plan is conditioned to be submitted with the building plans.

Utility Service: Utilities are available to the site along Humboldt Avenue.

Landscaping: New landscaping is proposed to be planted on site, to include trees (*Japanese maple, red maple, crape myrtle, Chinese pistache*), shrubs and ground cover. A final landscape plan shall be submitted for city review.

Signs: No new signage is proposed with the project; however, any new signage to advertise the hotel is required by the Comprehensive Sign Law shall submit for sign permit approval prior to installation.

Fiscal Impact:

There is no cost to the city associated with this recommendation as the project has a PTA on file.

Attachments:

1. Draft Commission Resolution
2. Draft Conditions of Approval
3. Architectural Elevations of Hotel
4. Zoning/General Plan map

PC RESOLUTION NO. ____-2022

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF WILLOWS GRANTING
DESIGN REVIEW APPROVAL (FILE# DR-22-02) TO SURESH PATEL FOR CONSTRUCTION
OF A NEW THREE-STORY HAMPTON INN HOTEL AND SITE IMPROVEMENTS FOR
PROPERTY LOCATED AT ASSESSORS PARCEL NUMBERS 001-032-025; 001-032-026**

WHEREAS, the applicant, Suresh Patel has filed for Design Review approval for construction of a new three-story Hampton Inn Hotel and site improvements on subject parcels; and,

WHEREAS City of Willows Municipal Code Chapter 18.141.030 requires that all new buildings, structures, and other physical improvements shall have design review approval; and,

WHEREAS the Planning Commission did, on December 14, 2022, hold a public hearing to consider all public oral and written comments, letters and documents, staff reports, and all other documents and evidence which are a part of the Record; and,

WHEREAS, the Planning Commission has reviewed all evidence submitted in connection with the application, including public testimony, staff report, supporting documentation, City codes and regulations, and all other relevant documents and evidence which are part of the record of proceedings; and,

WHEREAS the Planning Commission finds that the Design Review proposal is considered exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15302, Class 2, Replacement or Reconstruction.

NOW THEREFORE, BE IT RESOLVED, that the Planning Commission of the City of Willows does hereby find that the Design Review proposal to construct a new three-story Hampton Inn is consistent with the City of Willows General Plan, the City of Willows Municipal Code, and hereby approves Design Review file# DR-22-02 subject to the attached conditions of approval set forth in Attachment #2.

IT IS HEREBY CERTIFIED that the foregoing Resolution was duly adopted at a regular meeting of the Planning Commission of the City of Willows on Wednesday, the 14th day of December 2022, by the following vote, to wit

AYES:

NOES:

ABSTAIN:

ABSENT:

APPROVED: _____

Pedro Bobadilla, Chairperson

ATTEST: _____

Recording Secretary,

Design Review (File#DR-22-02)
CONDITIONS OF APPROVAL
FOR HAMPTON INN HOTEL PROJECT
PC approval date: _____ 2022

General:

1. That the applicant/developer shall enter into a Pass-Through Agreement with the City of Willows to pay the cost of all planning review, plan checking and field inspection of this development.
2. All plans for additional uses, which are not covered by this review, shall be submitted to the City Manager/Planning Commission for review and approval prior to use.
3. A revised site plan shall be submitted if the rooms are increased to 94, showing additional parking and landscaping.
4. A final landscaping plan shall be submitted with the building plans for city review.
5. The developer shall adhere to the design and specification of the Architectural Design Review approval submitted which grants approval for 82 rooms for a Hampton Inn. Should the number of rooms increase to 94, a new set of architectural plans shall be reviewed by the city, and if requested by the Commission, for their re-review.
6. The Architectural Design Review approval shall expire in one year unless otherwise stipulated by the Planning Commission. The applicant may apply to the city for an extension of not more than one year from the original date of expiration. Substantial changes and any further extension beyond one year shall require Planning Commission approval.
7. All contractors/sub-contractors doing work on the project shall obtain a city business license prior to commencing operation.
8. Any new signage to advertise the Hotel shall obtain sign permit approval from the city prior to installation. A sign package shall be submitted for Planning Department review.

Building Department:

8. The proposed development shall be designed and constructed in accordance with the most current applicable Building Codes, including the Uniform Building Code (UBC) and the California Building Code (CBC) as determined by the Building Division of the City of Willows.
9. All work shall comply with current Federal, State and Local codes and ordinances, and be shown on the plans submitted for review.
10. Development impact fees shall be paid at the time of building permit issuance.
11. Prior to issuance of a Building Permit for the construction of any structures on the site, a Final Lighting Plan shall be submitted to the City for review. The final lighting plan shall include, details regarding exterior lighting with lighting sources that are full cut-off, hooded, and down-cast, or otherwise shielded to ensure that light does adversely shine towards neighboring properties or toward the night sky, lighting sources with the minimum wattage necessary to provide adequate security without causing excessively bright night glow,

and sufficient details regarding the proposed wattage and area of coverage for all site lights.

12. The final adopted conditions of approval for this Design Review approval, shall be on the plans submitted for review.

Fire Department:

13. All impact fees shall be paid prior to the issuance of a building permit.
14. All buildings will have fire sprinkler systems provided. The Fire Department shall review all sprinkler plans prior to installation. WMC 15.15.10.
15. All fire and alarm systems must meet the approval of the Fire Chief. WMC 15.15.120.
16. A Knox box shall be installed per Fire Chief approval. WMC 15.15.130.
17. The building address signing shall meet all WMC 15.15.100 criteria and be reviewed by the Fire Department prior to approval.
18. Provide fire extinguishers in accordance with the 2019 CFC.
19. Provide illuminated exit signs over all exit doors in accordance with the 2019 CBC and CFC.
20. All exit doors shall have no knowledge door locks, be posted "this door to remain unlocked when building is occupied" and swing in the direction of exit travel.
21. Water flow calculations shall be provided after the installation of new hydrant to indicate that they meet water flow requirement minimums for this development.
22. On Site Hydrant's will be required to have dedicated right of way easements to Cal Water. On site hydrant will follow Cal Water design and planning process.
23. FDC connection will be within 50' of hydrant.
24. On site road surface will meet CFC Chapter and Sec 15.15.090 Fire Apparatus Access Roads.
25. Red curbs may be required and will be reviewed, at the time of construction by the Fire Chief.
26. WMC requires and will continue to require with the 2022 code, a fire hydrant within 50feet of the FDC. The site plans show hydrants are represented with the symbol x5 and FDC with the symbol w6. The current plans show the FDC in excess of 50 feet from the nearest hydrant and within the building collapse zone. I would like the FDC located next to the fire hydrant depicted at the SE corner of the property.
27. If the owner has any plans to put solar panel covered parking, it will need to be approved by the Fire Chief due to ingress and egress issues for the ladder truck.
28. Because of the size of the building and per the 2019 CFC, it appears that a distributed antenna system (DAS) is required per section 510 of the 2019 CFC. If the developer can provide a study that the building will meet emergency responder signal strength outlined in 510.4.1 through 510.4.1.3, a system will not be required.

CalWater Service:

29. Submit plans and necessary paperwork to CalWater for review of the water requirements and connections.

Glenn County Environmental Health Department:

30. The new development will be connected to city services for waste and water management and will not require any permits from the Glenn County Environmental Health. The Hampton Inn will require plan review for the recreational facilities (pool/spa) and for food service areas.
31. Annual operating permits issued by Glenn County Environmental Health are required for the consumer food service operations and the recreational areas (pool/Spa).

Engineering/Public Works Department

32. Developer shall design and construct all improvements and facilities shown on any approved tentative map, site plan, or other documents submitted for permit approval, in accordance with the Willows Municipal Code (WMC), the City of Willows Design and Construction Standards. Approval of a tentative map depicting improvements that do not conform to the WMC or City standards does not constitute approval of an exception to the WMC or City standards unless explicitly stated herein or in another City resolution.
33. The developer shall be responsible for all City plan check, map check and inspection costs. The developer shall deposit funds with the City upon the initiation of plan check services. The amount of the initial deposit shall be determined by the City Engineer. Additional funds may be required based upon actual plan check and inspection costs.
34. Unless otherwise explicitly permitted, all existing wells, septic tanks and/or underground fuel storage tanks shall be abandoned under permit and inspection of Glenn County Department of Health Services or other designated agency. If there are none, the project engineer shall provide a letter describing the scope of the search done to make this determination

Improvement Plan and Construction Conditions:

35. Improvement plans shall be prepared and submitted by a California Registered Civil Engineer for the construction of all necessary and required on-site and off-site improvements including grading, water, sanitary sewer, storm drain facilities, roadway improvements, curbs, gutters, sidewalks, parkway strips and streetlights. All design and construction shall conform to the City of Willows Design and Construction Standards, as applicable.
36. A detailed Soils Investigation/Geotechnical Report shall be prepared and submitted for review. The report shall address, at a minimum, potential for liquefaction, expansive soils and seismic risk. The improvement plans shall incorporate all design and construction criteria recommended in the Geotechnical Report.
37. Improvements plans shall include a storm water pollution prevention plan and erosion control measures.
38. Roadway Improvements:
 - a. The structural section of all on-site parking isles designed to support a fully loaded fire truck or other emergency apparatus.

- b. Where new driveway improvements abut existing paving, the existing pavement section shall be saw-cut and reconstructed to provide adequate conforms. The limits of such reconstruction shall be as determined by the City Engineer.
- c. The improvement plans shall demonstrate adequate access and turning movements for the largest sized semi-truck (53' trailer.) All proposed semi-truck parking stalls shall be sized to fit the largest semi-trucks.
- d. Street lighting shall be designed to provide to meet safety requirements and minimize glare. Street light standard and luminaries of the design, spacing, and locations shall be approved by the City. All lighting must have shields as specified in the City Standards.
- e. Ramps and access paths for disabled persons meeting the most recent standards shall be provided in the public right-of-way, at all driveway intersections and designated parking stalls and paths from the parking stalls to the facility. Sidewalk warps shall be provided as necessary to allow a clear four-foot-wide walkway at all locations, including areas where mailboxes, streetlights, and fire hydrants obstruct sidewalks. If any sidewalk warps are installed that go outside of the existing public right-of-way, the applicant shall provide a public access easement over all sidewalk facilities that encroach onto private property.
- f. Reciprocating access easements shall be provided to the adjacent properties north and south to ensure proper circulation in the area. The access easements shall be recorded prior to issuance of the certificate of occupancy.

39. Water and Sanitary Sewer Improvements:

- a. The proposed domestic, fire and landscaping water services to the property shall be subject to approval by Cal Water and to their adopted standards.
- b. Locations of all fire hydrants, fire services, connections and sprinklers for the building shall be subject to review and approval by the City Fire Chief.
- c. Per the site plans, it appears that there will be four water services (for fire, domestic, hydrant and irrigation) to the property. Services shall be constructed such that trenching of Humboldt Street shall be minimized (they should be located adjacent to each other as shown on the site plan. For restoration of the trenches, pavement restoration shall extend from approximately 5 feet south of the southernmost water services to 5 feet north of the northernmost water line.
- d. Sewer grades must be designed such that ultimate finished floors are a minimum of 12" above upstream manhole or clean-out rim elevations. Inadequate elevation differentials or grade on private laterals, as determined by the City, must be mitigated by either raising finished floor elevation(s), installing a check valve on the sewer line to prevent backflow into the property or installing privately owned and operated sewer lift station(s) with grinder/ejector pump(s) on site. If either a check valve or sewer lift station are installed, it shall be the property owner's responsibility to operate and maintain the devices and the City shall not be liable for any malfunctioning of these devices that may result in property damage.

40. Drainage Improvements:

- a. All project related flooding impacts shall be mitigated by the project developer. Drainage improvements shall be designed in accordance with the Design Criteria utilizing the rationale method and any applicable adopted City drainage plans.
- b. The applicant shall submit for review and approval, drainage plans and hydraulic calculations prepared by a Registered Civil Engineer. The drainage plans and

calculations shall indicate the following conditions before and after development:
Quantities of water, water flow rates, major water courses, drainage areas and patterns, diversions, collection systems, flood hazard areas, sumps and drainage courses.

- c. Post-development off-site flows shall not exceed pre-development flows
- d. If retention/detention basins are proposed, routing and basin sizing calculation shall be submitted showing hydrographs and storage calculations.
- e. Drainage facilities shall be constructed to intercept any drainage runoff from offsite properties and conveyed to an approved storm drain.
- f. With the submittal of the improvement plans, the developer's engineer shall submit to for review and approval a Final Storm Water Low Impact Development Submittal prepared by a Registered Civil Engineer in conformance with the State Storm Water LID regulations.
- g. Maintenance and inspection of all storm water Best Management Practice (BMP) facilities on private land are the responsibility of the property owner. This responsibility shall run with the land and be legally recorded, executed, and transferred upon sale of the property. Property owners shall inspect, or ensure the inspection by a qualified professional, of all storm water BMP facilities at least once a year. Records of maintenance and inspections shall be retained on the property for a period of 5 years.
- h. A legally binding, signed maintenance agreement, or equivalent mechanism approved by the city, is required for all storm water BMP facilities prior to issuance of certificate of occupancy.

Lot Line Adjustment Condition

- 41. Prior to issuance of any building permit, the proposed lot line adjustment shall be submitted for review and approval by the City. The lot line adjustment must be recorded prior to the issuance of a building permit.

Construction Conditions:

- 42. No grading or other construction shall be performed until the improvement plans have been approved and signed by the City Engineer. Encroachment Permits and Building Permits will not be issued prior to the approval of the improvement plans. An Encroachment Permit is required for any work within the City's rights of way.
- 43. The developer shall keep adjoining public streets free and clean of project dirt, mud, materials, and debris during the construction period, as is found necessary by the City Engineer.
- 44. Before or any construction activity that would result in a land disturbance of one acre or larger, the developer shall provide evidence that a Notice of Intent has been submitted and received by the Regional Water Quality Control Board for a General Construction Activity Storm Water Permit. A copy of the project Storm Water Pollution Protection Plan shall be submitted to the City.
- 45. If any hazardous waste is encountered during the construction of this project, all work shall be immediately stopped and the Glenn County Environmental Health Department, the Fire Department, the Police Department, and the City Inspector shall be notified immediately. Work shall not proceed until clearance has been issued by all of these agencies.

46. Where soil or geologic conditions encountered in grading operations are different from that anticipated in the soil and/or geologic investigation report, or where such conditions warrant changes to the recommendations contained in the original soil investigation, a revised soil or geologic report shall be submitted for approval by the City Engineer. It shall be accompanied by an engineering and geological opinion as to the safety of the site from hazards of land slippage, erosion, settlement, and seismic activity. Additionally, if field conditions warrant installation of any subdrains, the location, size and construction details must be provided to the City for review and approval prior to construction.
47. All streets, curbs, gutters, sidewalks or other public facilities damage in the course of construction associated with this development shall be the responsibility of the Developer and shall be repaired to the satisfaction of the City at the Developer's expense.
48. Haul routes for all trucking associated with this project shall be via N. Humboldt Street. No truck traffic will be allowed to go through residential areas.
49. Dust control must be maintained to the City's satisfaction.
50. Working hours shall be restricted to the hours of 7:00 a.m. to 6 p.m., Monday through Friday.

Release of Securities Conditions

51. All public improvements shown on the Improvement Plans shall be completed to the City's satisfaction prior to issuance of a certificate of occupancy.
52. All punch-list work shall be completed, and any outstanding inspection fees or other charges shall be paid.
53. Developer shall provide sufficient surety guaranteeing any public improvements for a period of one year.
54. A complete set of *As-Built* or Record improvement plans showing all substantial changes from the original plans shall be certified by the Civil Engineer of record and submitted to the City Engineer prior to acceptance of the public improvements.
55. Prior to issuance of a certificate of occupancy, the developer shall provide a written statement signed by his or her engineer certifying that they observed the work during construction and that site grading and all private site improvements have been completed in accordance with the improvement plans approved by the City Engineer.
56. Prior to issuance of a certificate of occupancy, the developer shall provide a written statement signed by his or her geotechnical engineer certifying that they observed the work and reviewed testing results, and that all of work was performed in accordance with the recommendations included in the Soils Investigation/Geotechnical Report or other recommendations necessitated by field conditions.

HAMPTON INN - WILLOWS

APN 001-0320-160, -180, -250, -260, WILLOWS, CA 95988

DVB

architecture

5221 DEER VALLEY ROAD, #150

RESCUE, CA 95672

(916) 316-6759

john@dvsarchitecture.com

OWNER

CONTRACTOR

This drawing is not final or to be used for construction until it is signed by the architect and the owner.



SHEET INDEX

PLANNING	
A0	COVER SHEET
A1	OVERALL SITE PLAN
A2	SITE PLAN
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A4	SECOND AND THIRD FLOOR PLANS
A5	ROOF PLAN
A6	EXTERIOR ELEVATIONS AND MATERIAL BOARD
A7	BUILDING SECTIONS
C1	OVERALL SITE PLAN
C2	PRELIMINARY SITE PLAN
C3	PRELIMINARY GRADING AND DRAINAGE PLAN
C4	PRELIMINARY WATER AND SANITARY SEWER PLAN
C5	BOUNDARY LINE ADJUSTMENT EXHIBIT
LI	PRELIMINARY LANDSCAPE PLAN

GUEST UNIT MATRIX

	FIRST FLOOR	SECOND FLOOR	THIRD FLOOR	TOTAL
KING	3	4	4	11
ACCESSIBLE KING	1	1	1	3
DOUBLE QUEEN	10	24	24	58
ACCESSIBLE DOUBLE QUEEN	0	1	1	2
DOUBLE QUEEN EXTENDED	0	2	2	4
DOUBLE QUEEN EXTENDED & WIDE	0	2	2	4
TOTAL NUMBER OF GUEST ROOMS	14	34	34	82

PLANNING DEPARTMENT SUBMITTAL
08/24/2022

PROJECT TEAM

OWNER **SURESH PATEL**
5634 GUTHRIE PLACE
DAVIS, CA 95618
(530) 219-8222

ARCHITECT **DVB architecture**
5221 DEER VALLEY ROAD, #150
RESCUE, CA 95672
(916) 316-6759

CIVIL **CWE-RFE**
2260 DOUGLAS BLVD., SUITE 160
ROSEVILLE, CA 95661
(916) 772-7800

LANDSCAPE **LINDA FISH LANDSCAPE ARCHITECT**
4073 PATCHWORK COURT
TURLOCK, CA 95382
(209) 656-7177



PLANNING DEPARTMENT SUBMITTAL

WILLOWS GATEWAY
APN 001-0320-160, -180, -250, -260, WILLOWS, CA 95988

NOT FOR CONSTRUCTION

08/24/22 PLANNING DEPARTMENT SUBMITTAL

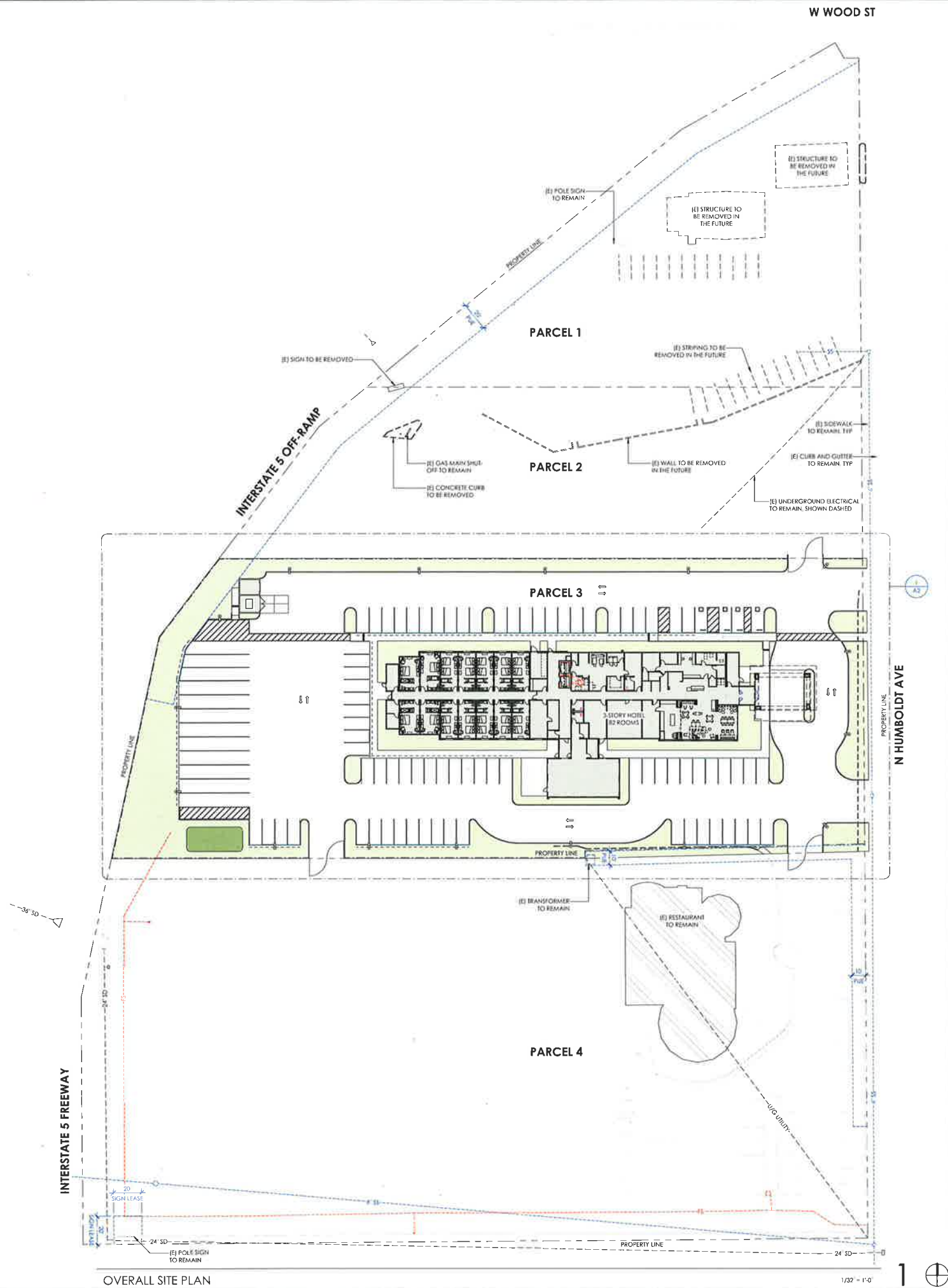
COVER SHEET

Project Number: 21032

Drawn By: DVB

Checked By: DVB

A0



ZONING ANALYSIS	
APN(S):	001-0320-160, -180, -250, -260
ZONING:	CH (HIGHWAY COMMERCIAL)
GENERAL PLAN:	HIGHWAY COMMERCIAL
PREVIOUS HOTEL ROOMS	100
PROPOSED HOTEL ROOMS	82

DIB

architecture

5221 DEER VALLEY ROAD, #100
RESOLVE, CA 95072
(916) 316-6759
john@dibarchitecture.com

OWNER _____

CONTRACTOR _____

This drawing is not final or to be used for construction until it is signed by the architect and the owner.

PLANNING DEPARTMENT SUBMITTAL

WILLOWS GATEWAY

APN 001-0320-160, -180, -250, -260, WILLOWS, CA 95988

NOT FOR CONSTRUCTION

08/24/22 PLANNING DEPARTMENT SUBMITTAL

OVERALL SITE PLAN

Project Number:
21032

Drawn By:
DVB

Checked By:
DVB

A1

OWNER _____
CONTRACTOR _____
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PLANNING DEPARTMENT SUBMITTAL

WILLOWS GATEWAY

APN 001-0320-160, -180, -250, -260, WILLOWS, CA 95988

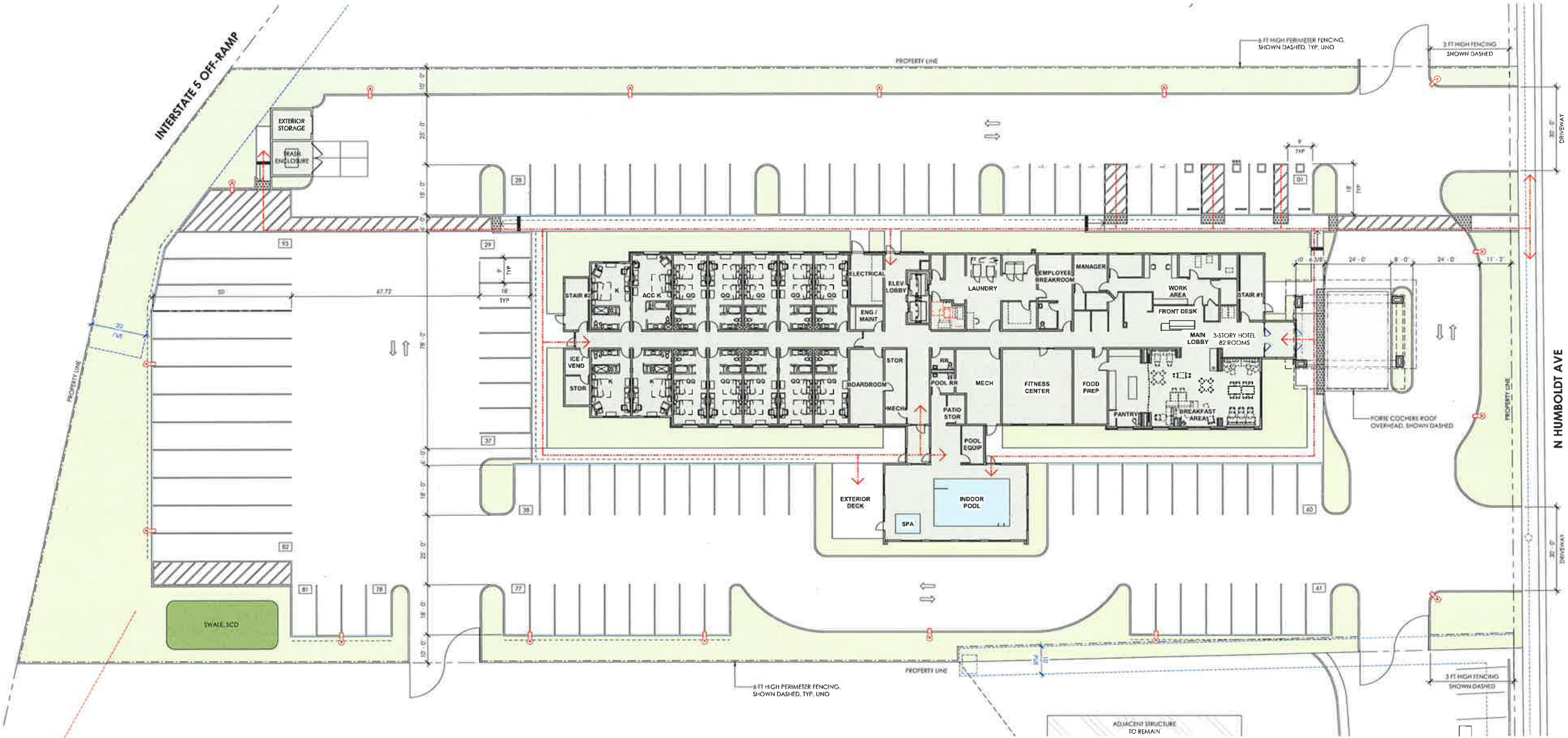
NOT FOR CONSTRUCTION

08/24/22 PLANNING DEPARTMENT SUBMITTAL

SITE PLAN

Project Number
21032
Drawn By
DVB
Checked By
DVB

A2



SITE PLAN

1/16" = 1'-0" 1

PERIMETER FENCING - ALUMINUM - BLACK



POLE LIGHTING - LITHONIA - RSX3 LED P1 40K R3

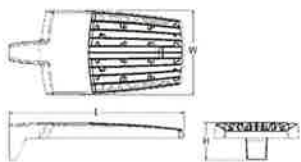


RSX3 LED
Area Luminaire



Specifications

EPA (ft²@0'): 0.70 ft² (0.07 m²)
Length: 33.8" (85.9 cm) (SPA mount)
Width: 16.1" (40.9 cm)
Height: 3.0" (7.6 cm) Main Body
7.2" (18.3 cm) Arm
Weight (max): 48.0 lbs (21.8 kg)



PARKING COUNT:

GUEST ROOMS	82
REGULAR STALLS	81
TRUCK / RV STALLS	12
REQUIRED PARKING (1 PER GUEST ROOM + 2 FOR LOBBY)	84
TOTAL PARKING	93
ACCESSIBLE PARKING (INCL. ABOVE)	4 = OK
ELECTRIC VEHICLE CHARGING STATIONS (INCL. ABOVE)	5 = OK
APN 001-0320-160, -180, -250, -260	
ZONING - CH (HIGHWAY COMMERCIAL)	

SITE PLAN LEGEND:

- ACCESSIBLE PATH OF TRAVEL
- DETECTABLE WARNING SURFACE

SITE LIGHT FIXTURES:

- SITE POLE LIGHTING LITHONIA - RSX3 LED P1 40K R3

OWNER _____
CONTRACTOR _____
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PLANNING DEPARTMENT SUBMITTAL

WILLOWS GATEWAY

APN 001-0320-160, -180, -250, -260, WILLOWS, CA 95988

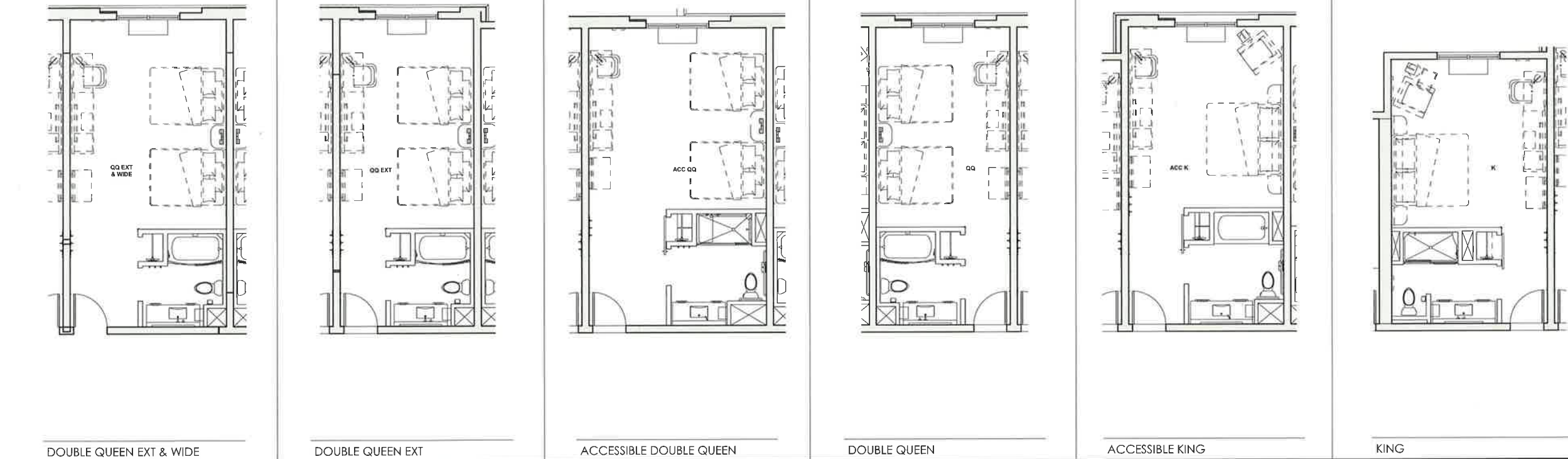
NOT FOR CONSTRUCTION

08/24/22 - PLANNING DEPARTMENT SUBMITTAL

GROUND FLOOR AND
ENLARGED GUESTROOM
PLANS

Project Number
21032
Drawn By
DVB
Checked By
DVB

A3



GROUND FLOOR PLAN

3/32" = 1'-0"

1

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CONTRACTOR
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PLANNING DEPARTMENT SUBMITTAL

WILLOWS GATEWAY

APN 001-0320-160, -180, -250, -260, WILLOWS, CA 95988

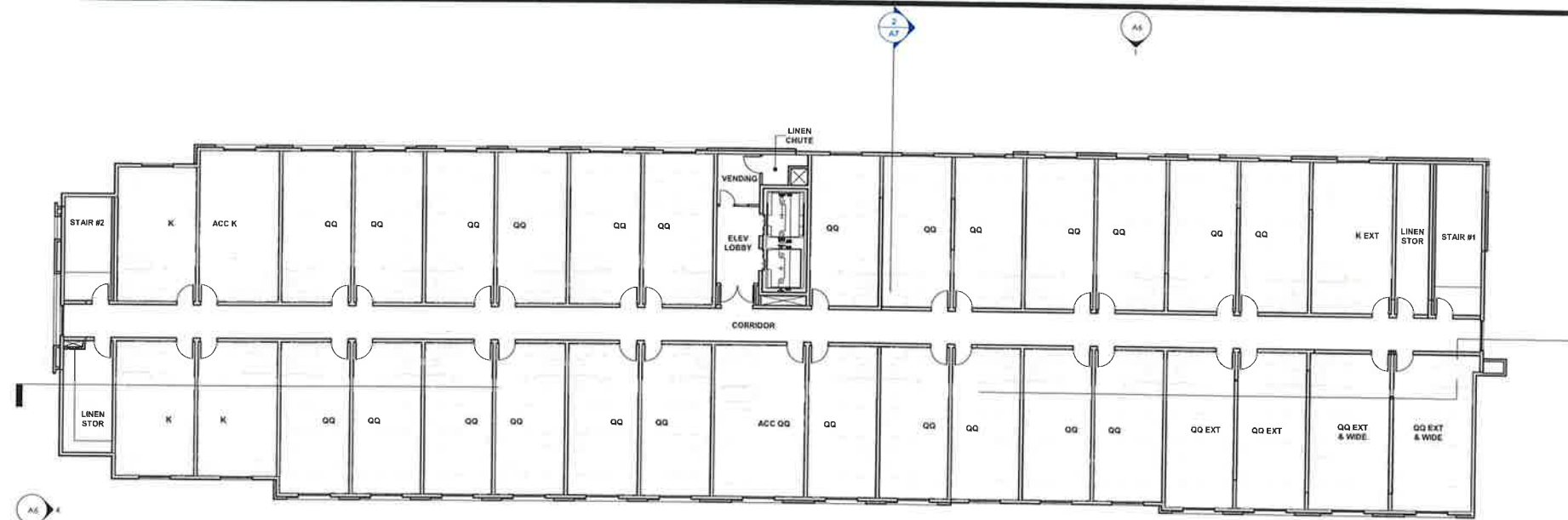
NOT FOR CONSTRUCTION

08/24/23 PLANNING DEPARTMENT SUBMITTAL

SECOND AND THIRD
FLOOR PLANS

Project Number
21032
Drawn By
DVB
Checked By
DVB

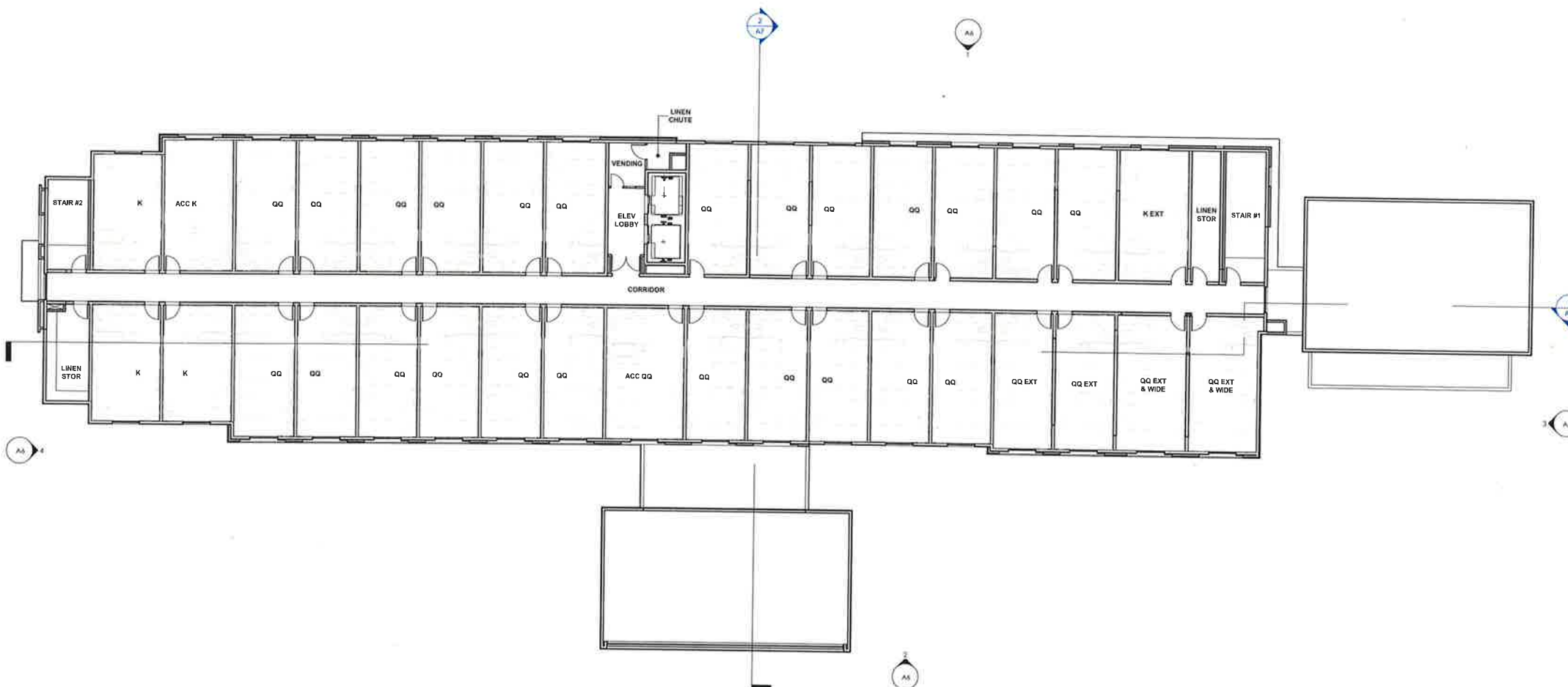
A4



THIRD FLOOR PLAN

3/32 = 1'-0"

1



SECOND FLOOR PLAN

3/32 = 1'-0"

2

OWNER
CONTRACTOR
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PLANNING DEPARTMENT SUBMITTAL

WILLOWS GATEWAY

APN 001-0320-160, -180, -250, -260, WILLOWS, CA 95988

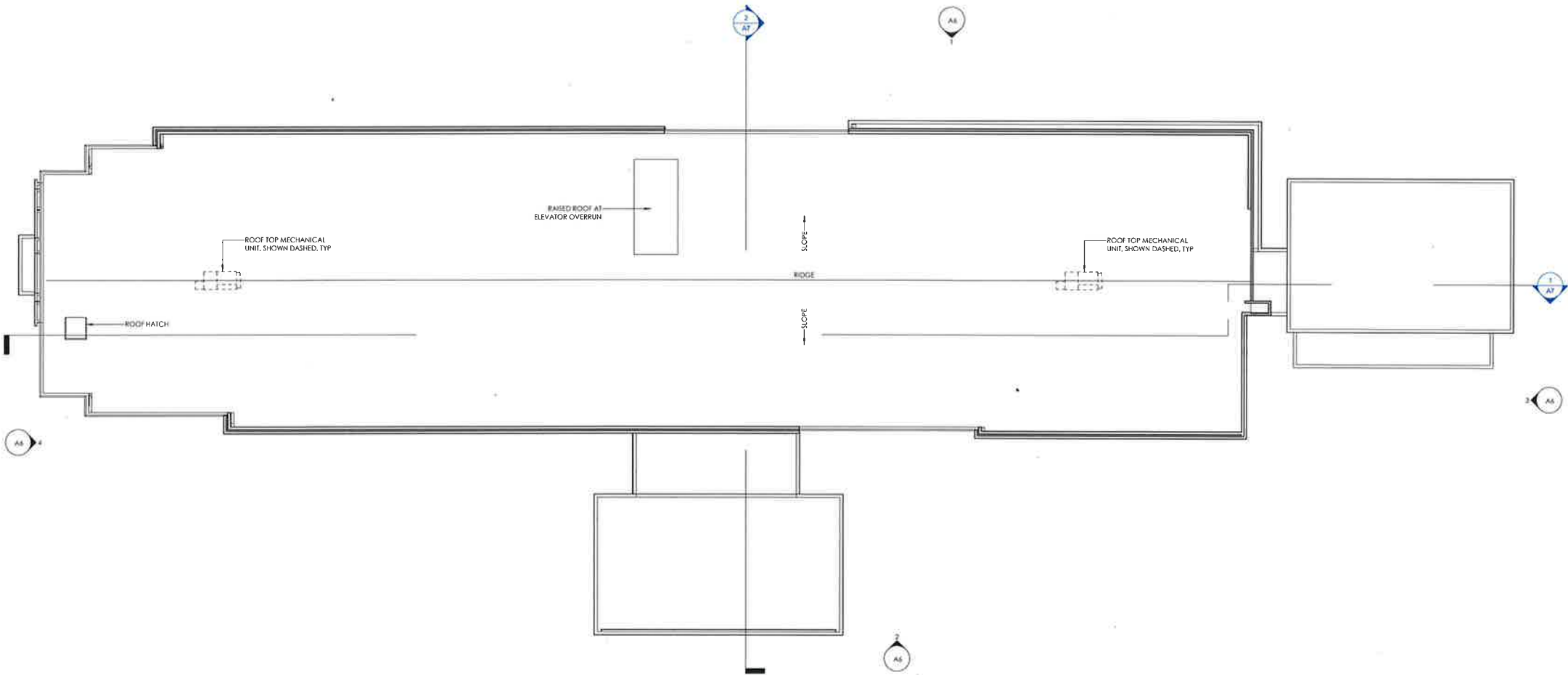
NOT FOR CONSTRUCTION

08/24/22 PLANNING DEPARTMENT SUBMITTAL

ROOF PLAN

Project Number
21032
Drawn By
DVB
Checked By
DVB

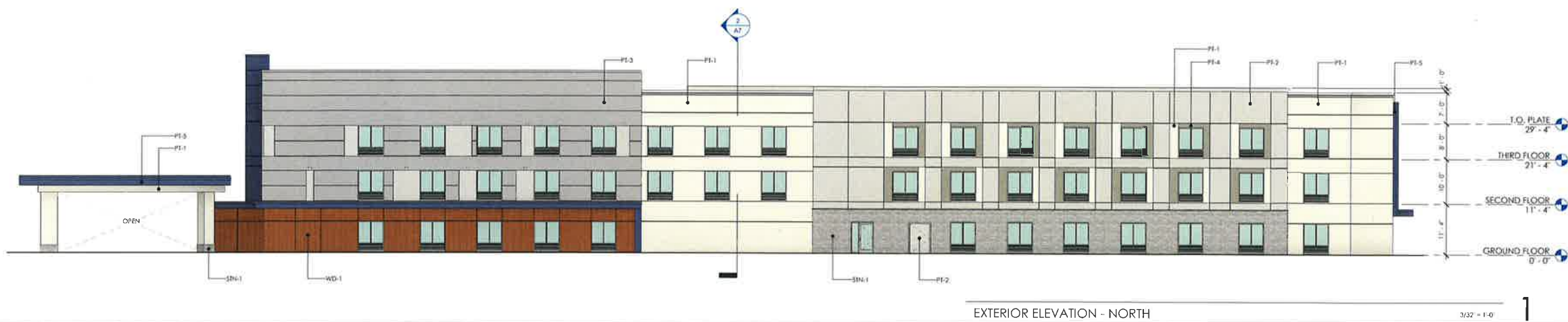
A5



ROOF PLAN

3/32" = 1'-0"

1



EXTERIOR ELEVATION - NORTH

3/32" = 1'-0"

1



EXTERIOR ELEVATION - SOUTH

3/32" = 1'-0"

2



EXTERIOR ELEVATION - WEST

3/32" = 1'-0"

4



EXTERIOR ELEVATION - EAST

3/32" = 1'-0"

3



PT-1 (PAINT-FIELD)
MANUFACTURER: BENJAMIN MOORE
MODEL: OC-141 - CHINA WHITE



PT-2 (PAINT-FIELD)
MANUFACTURER: BENJAMIN MOORE
MODEL: 2137-60 - GRAY OWL



PT-3 (PAINT-FIELD)
MANUFACTURER: BENJAMIN MOORE
MODEL: HC-169 - COVENTRY GRAY



PT-4 (PAINT-FIELD)
MANUFACTURER: BENJAMIN MOORE
MODEL: AC-27 - GALVESTON GRAY



PT-5 (PAINT-FIELD)
MANUFACTURER: BENJAMIN MOORE
MODEL: 2041-20 - CHAMPION COBALT



WD-1 (ALUMINUM COMPOSITE WOOD GRAIN FINISHING)
MANUFACTURER: ALUCORCHID
MODEL: NATURAL - CHESTNUT PVDF - WOODGRAIN



STN-1 (CULTURED STONE VENEER)
MANUFACTURER: ELDERADO STONE
MODEL: RIDGETOP 18 - GRANITE SPIRE

PLANNING DEPARTMENT SUBMITTAL

WILLOWS GATEWAY

APN 001-0320-160, -180, -250, -260, WILLOWS, CA 95988

NOT FOR CONSTRUCTION

EXTERIOR ELEVATIONS
AND MATERIAL BOARD

Project Number:

21032

Drawn By:

DVS

Checked By:

DVS

A6


$$3/32 = 1'-0"$$

1



3/32 = 1.0

2

PLANNING DEPARTMENT SUBMITTAL

WILLOWS GATEWAY

APN 001-0320-160, -180, -250, -260, WILLOWS, CA 95988

NOT FOR CONSTRUCTION

08/24/22 PLANNING DEPARTMENT SUBMITTAL

BUILDING SECTIONS

Project Number
21032

Drown By
DVB

Checked By
DVB

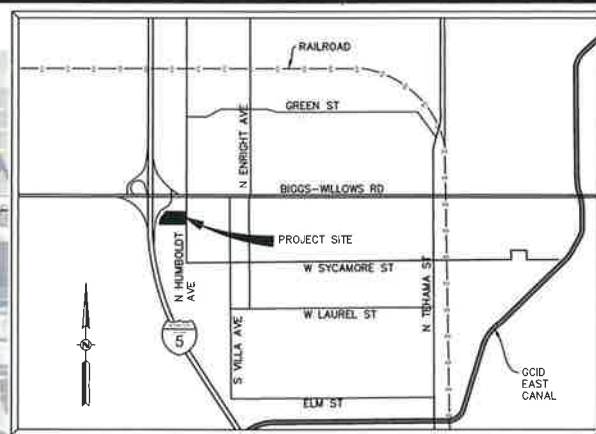
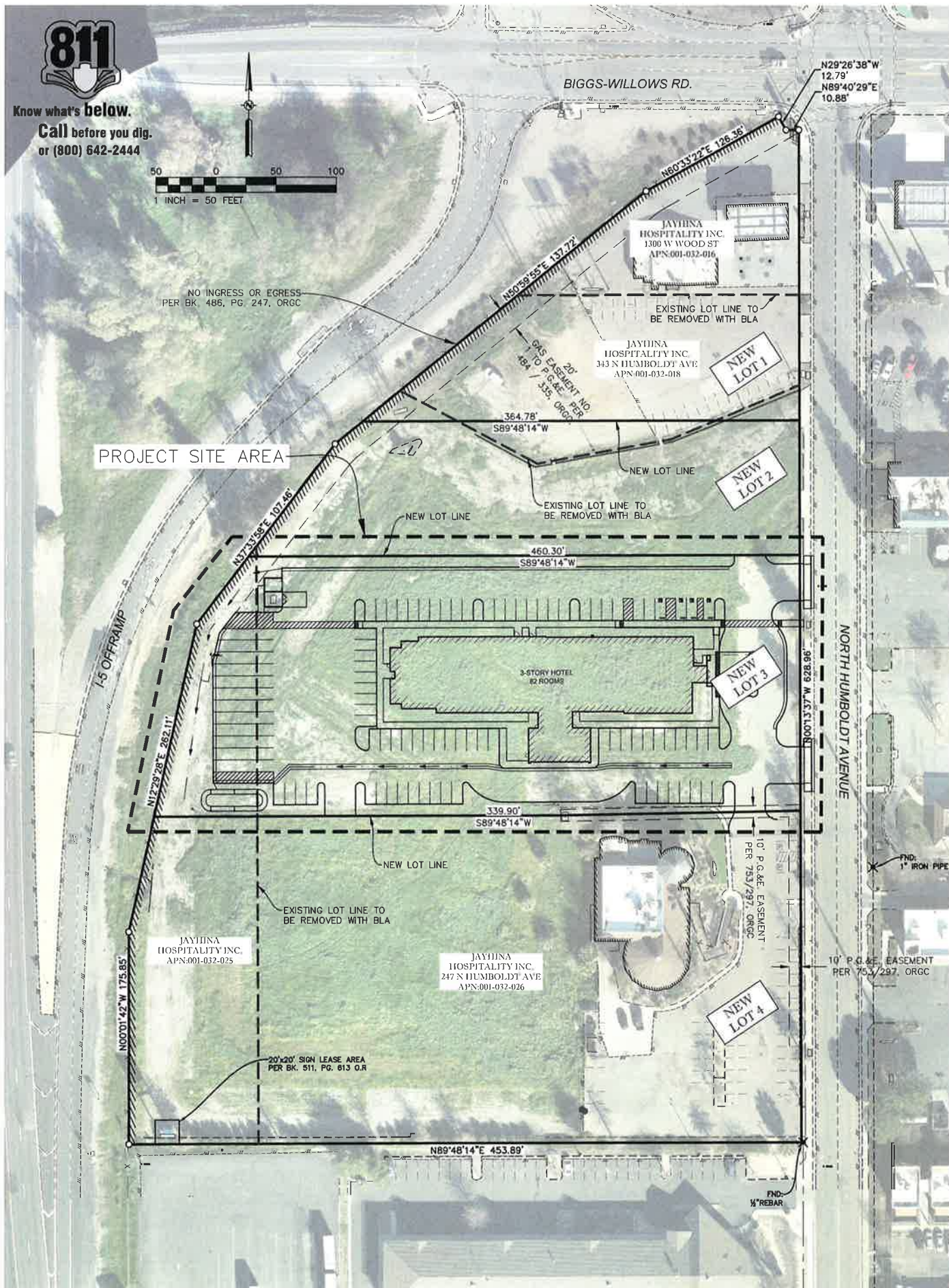
A7

DESCRIPTION	LEGEND EXISTING	PROPOSED
PROPERTY LINE	---	---
PROPERTY LINE TO BE REMOVED	---	---
ROW	---	---
EASEMENT	---	---
CENTERLINE	---	---
SW, CURB & GUTTER	---	---
DITCH / FLOWLINE	---	---
EP	---	---
STORM DRAIN	XX" SD	XX" SD
SANITARY SEWER	XX" SS	XX" SS
WATER	XX" W	XX" W
GAS LINE	XX" G	XX" G
TELEPHONE MH	○	○
SDMH	○	○
DROP INLET	■	■
2"x3" DROP INLET	■	■
DIRECTION OF SURFACE FLOW	→	→
OVERLAND RELEASE PATH	→	→
SSMH	○	○
SSCO	○	○
FIRE HYDRANT	○	○
PIV	○	○
FDC	○	○
WATER VALVE	○	○
WATER METER	○	○
CONCENTRIC REDUCER	○	○
REDUCED PRINCIPAL PRESSURE ASSEMBLY	○	○
REDUCED PRESSURE BACKFLOW PREVENTER	○	○
MONUMENT WELL	○	○
BOLLARD	○	○
GAS VALVE	○	○
UTILITY POLE	○	○
UTILITY POLE WITH LIGHT	○	○
STREET LIGHT	○	○
DOUBLE POST TOP STREET LIGHT	○	○
FENCE	---	---
INDEX CONTOUR	25	25
INTERMEDIATE CONTOURS	---	---
JUNCTION/PULL BOX	○	○
SIGN	○	○
GRADE BREAK LINE	---	---
TREE & DRIP	○	○
PIPE CAP	○	○
HANDICAP RAMP	○	○
CONTROL POINT	○	○
FINISH FLOOR ELEVATION	FF: 123.00	FF: 123.00
SPOT ELEVATION (ASPHALT CONCRETE)	157.01 AC	13.34 AC
MATCH (E) GRADE ELEVATION	---	---
TRUNCATED DOMES	○	○
BUILDING	---	---
DOOR	---	---

UNDERGROUND UTILITY NOTE:

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

UTILITY REPRESENTATIVES			
UTILITY	COMPANY	CONTACT	PHONE
GAS	P.G.&E.		877-743-7782
ELECTRIC	P.G.&E.		877-743-7782
TELEPHONE / INTERNET	COMCAST		925-424-0278
WATER	CALIFORNIA WATER SERVICE	BRYAN OTTERSON	530-624-4108
SEWER	CITY OF WILLOWS	NATISA PFYL	530-517-0199
DRAINAGE	GLENN COUNTY	TALIA RICHARDSON	530-934-6530
U.S.A.			800-642-2444
FIRE	CITY OF WILLOWS FIRE DEPT.		530-934-7041



VICINITY MAP

NOT TO SCALE

SHEET INDEX:

- CIVIL**
- C1 PRELIMINARY OVERALL SITE PLAN
 - C2 PRELIMINARY SITE PLAN
 - C3 PRELIMINARY GRADING, DRAINAGE, AND PAVING PLAN
 - C4 PRELIMINARY WATER AND SANITARY SEWER PLAN
 - C5 BOUNDARY LINE ADJUSTMENT EXHIBIT

DATE OF FIELD SURVEY:

JANUARY 26, 2022

PROPERTY OWNER:

JAYHINA HOSPITALITY INC.
5634 GUTHRIE PL
DAVIS, CA 95618

SITE ADDRESS:

247 NORTH HUMBOLDT AVE.
WILLOWS, CA 95963

BASIS OF BEARINGS:

THE BASIS OF BEARINGS FOR THIS SURVEY WAS THE NORTH LINE OF PARCEL 'A' OF THAT CERTAIN PARCEL MAP FILED FOR RECORD IN BOOK 13 OF PARCEL MAPS, AT PAGE 78, THE BEARING OF WHICH IS SOUTH 89° 48' 14" WEST AND WAS ESTABLISHED FROM FOUND MONUMENTATION AS SHOWN HEREON.

BENCHMARK:

THE BENCHMARK USED FOR THIS SURVEY WAS THE NGS POINT DESIGNATED "P 1078, PID KT0162", WHICH IS A BENCH MARK DISC STAMPED "P 1078 1967" SET IN THE CONCRETE WALKWAY OF THE STATE HIGHWAY 162 BRIDGE OVER THE I-5 FREEWAY, 18.5 FEET SOUTH OF THE CENTERLINE OF HWY 162, 1.5 FEET WEST OF THE EAST END OF THE SOUTH CONCRETE CURB AND WALKWAY AND 1.5 FEET NORTH OF THE NORTH FACE OF THE SOUTH CONCRETE GUARDRAIL.

ELEVATION = 163.6 FEET (NAVD 88 DATUM)

ZONING

CH - HIGHWAY COMMERCIAL

JURISDICTION:

CITY OF WILLOWS

FLOOD PLAIN:

SUBJECT PROPERTY IS LOCATED WITHIN ZONE "X". AREAS WITHIN ZONE "X" ARE DETERMINED TO BE OUTSIDE THE 100 YEAR FLOOD PLAIN FLOOD PLAIN AS DETERMINED BY THE NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO.: 06021C0614D DATED: 8-05-2010

PROPERTY BREAKDOWN:

EXISTING:

- APN: 001-032-016 (0.458 ACRES)
- APN: 001-032-018 (0.771 ACRES)
- APN: 001-032-026 (6.097 ACRES)
- APN: 001-032-028 (0.935 ACRES)

PROPOSED:

- LOT 1: 1.177 ACRES
- LOT 2: 1.070 ACRES
- LOT 3: 2.531 ACRES
- LOT 4: 3.495 ACRES

TOTAL AREA DISTURBED: 2.531 ACRES

PRELIMINARY RAW EARTHWORK SUMMARY

CUT: 1250 CY
FILL: 1585 CY
NET: 335 CY (NET IMPORT)

NOTE:

EARTHWORK QUANTITIES ARE ESTIMATED TO SUBGRADE AND DO NOT TAKE INTO ACCOUNT SHRINKAGE, EXCESS MATERIALS FROM TRENCHING AND MISC. UNKNOWN STRUCTURAL SECTIONS. CONTRACTOR SHOULD VERIFY EARTHWORK QUANTITIES.



5221 DEER VALLEY ROAD, #150
RESCUE, CA 95672
(916) 316-6759
josh@dvbarchitecture.com



OWNER

CONTRACTOR

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PLANNING DEPARTMENT SUBMITTAL

WILLOWS GATEWAY

APN: 001-0320-160, 180, 250, 260, WILLOWS, CA 95988

OVERALL SITE PLAN

Project Number

21-220

Drawn By

TSM

Checked By

RFE

C1



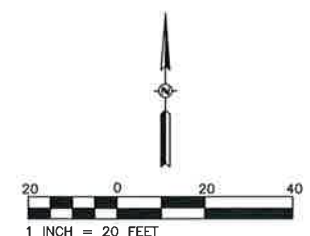
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WILLOWS GATEWAY
APN: 001-0320-160, 180, 250, 260, WILLOWS, CA 95988

Checked By
RFE

C2



PAVING LEGEND:

HEAVY DUTY AC

LIGHT DUTY AC

HEAVY DUTY PCC

PEDESTRIAN PCC

LANDSCAPING

INFILTRATION BASIN

SURFACE FLOW DIRECTION

OVERLAND RELEASE

SEE LANDSCAPE PLANS

GRADING CONSTRUCTION KEYNOTES

- 1

2

3

4

5

6

7

8

9

10

11

12
- BARRIER CURB

MONOLITHIC CURB AND SIDEWALK

24-INCH CURB CUT WITH RIP RAP BEHIND

TRASH ENCLOSURE

ACCESSIBLE RAMP

CONCRETE SIDEWALK

CURB AND GUTTER

CONCRETE WHEEL STOP

CONCRETE VALLEY GUTTER

DECORATIVE PAVEMENT

CURB-CUT DRIVEWAY PER CITY OF WILLOWS STDs.

ZERO CURB

STORM DRAIN CONSTRUCTION KEYNOTES

- D1

D2

D3

D4
- DRAIN INLET WITH DOME GRATE

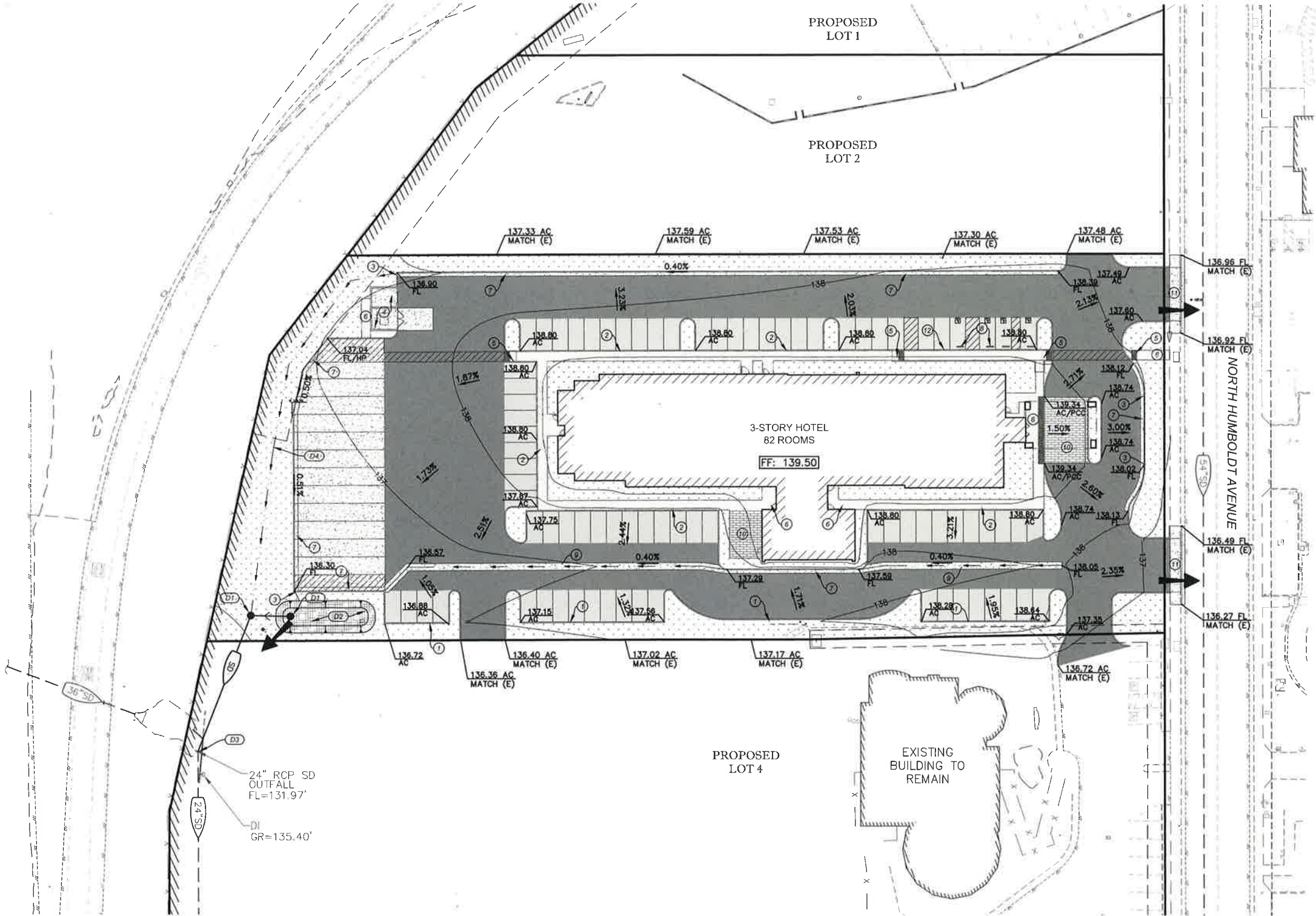
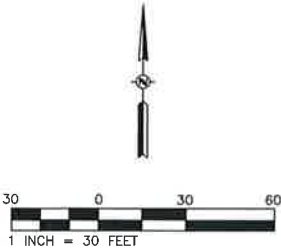
INFILTRATION BASIN

CONNECT TO EXISTING STORM DRAIN INLET

GRADE SWALE TO DRAIN



Know what's below.
Call before you dig.
or (800) 642-2444



5221 DEER VALLEY ROAD, #150
RESCUE, CA 95672
(916) 316-6759
josh@dvbarchitecture.com



2280 Douglas Blvd, Suite 180, Roseville, CA 95661
PH 916-772-7800 www.cwecorp.com

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PLANNING DEPARTMENT SUBMITTAL

WILLOWS GATEWAY

APN: 001-0320-160, 180, 250, 260, WILLOWS, CA 95988

08/18/2022 PLANNING DEPARTMENT SUBMITTAL

PRELIMINARY
GRADING AND
DRAINAGE PLAN

Project Number
21-220

Drawn By
TSM

Checked By
RFE

C3

SANITARY SEWER CONSTRUCTION KEYNOTES:

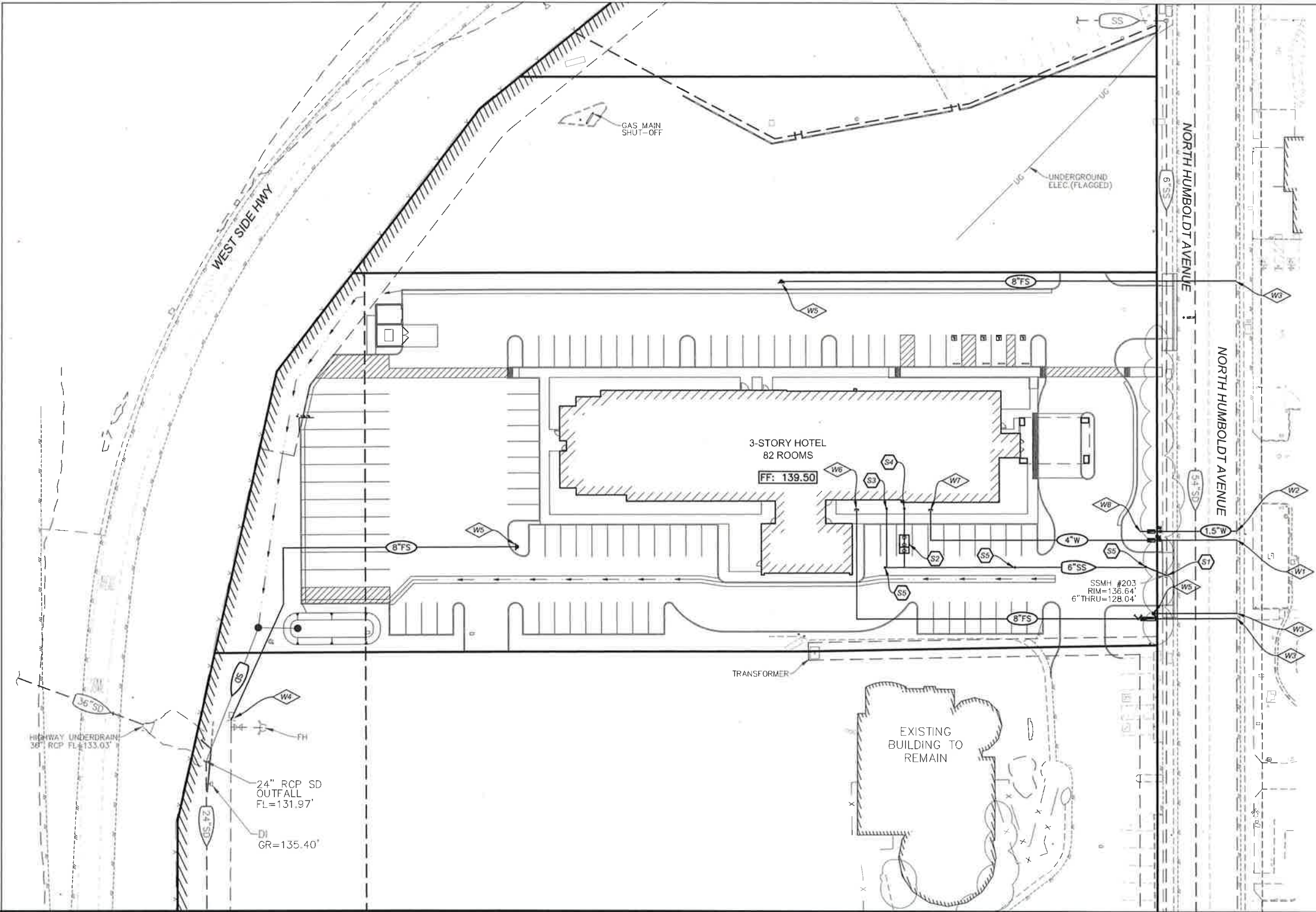
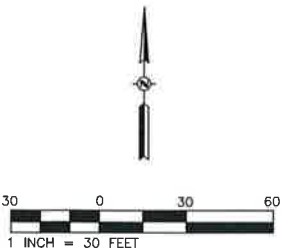
- S1 CONNECT TO EXISTING SANITARY SEWER MANHOLE WITH NEW 6" SEWER SERVICE.
- S2 GREASE INTERCEPTOR
- S3 SANITARY SEWER POINT OF CONNECTION TO BUILDING
- S4 GREASE SEWER POINT OF CONNECTION TO BUILDING
- S5 SEWER CLEANOUT

WATER CONSTRUCTION KEYNOTES:

- W1 CONNECT TO EXISTING 8" WATER MAIN WITH 4" DOMESTIC WATER LINE.
- W2 CONNECT TO EXISTING 8" WATER MAIN WITH 1.5" IRRIGATION SERVICE.
- W3 CONNECT TO EXISTING 8" WATER MAIN WITH 8" FIRE SERVICE
- W4 CONNECT TO EXISTING 12" WATER MAIN WITH 8" FIRE SERVICE
- W5 FIRE HYDRANT
- W6 FIRE SPRINKLER POINT OF CONNECTION TO BUILDING
- W7 DOMESTIC WATER POINT OF CONNECTION TO BUILDING
- W8 IRRIGATION SERVICE



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or (800) 642-2444



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RESCUE, CA 95672
(916) 316-4759
josh@dvbarchitecture.com



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CONTRACTOR
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PLANNING DEPARTMENT SUBMITTAL

WILLOWS GATEWAY

APN: 001-0320-160, 180, 250, 260, WILLOWS, CA 95988

08/18/2022 PLANNING DEPARTMENT SUBMITTAL

PRELIMINARY WATER
AND SANITARY SEWER
PLAN

Project Number
21-220

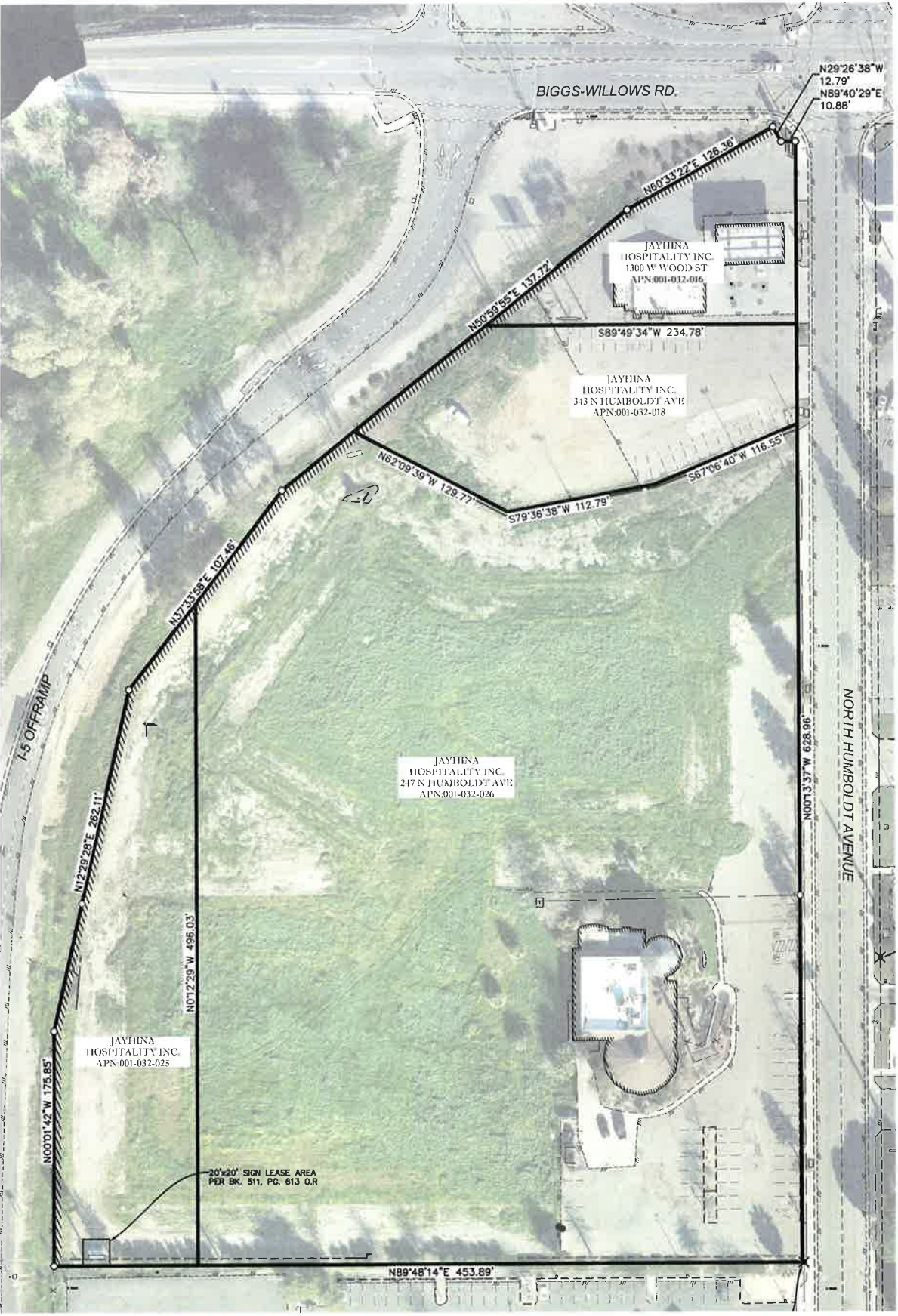
Drawn By
TSM

Checked By
RFE

C4

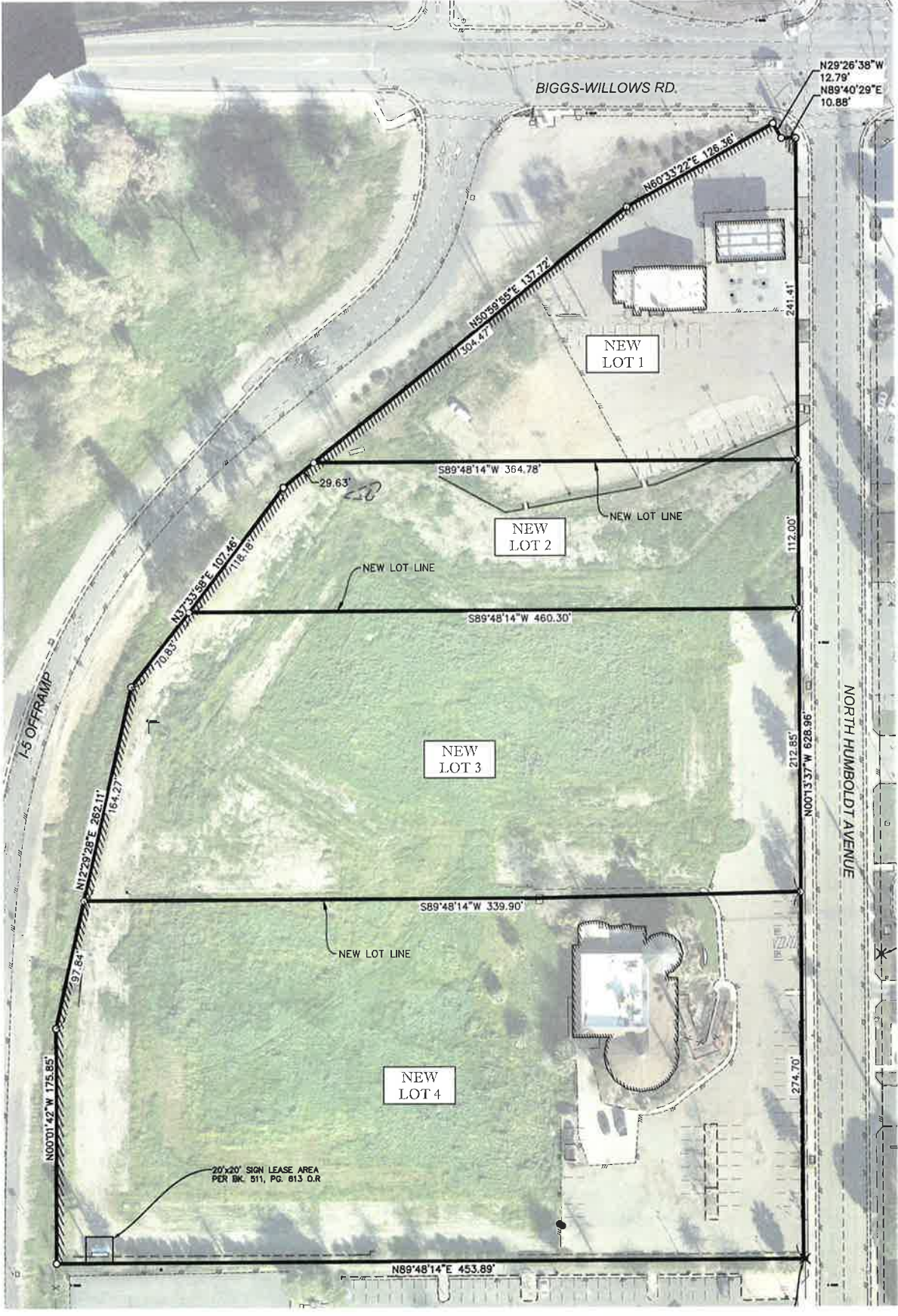
PRE-BOUNDARY LINE ADJUSTMENT
(EXISTING CONDITION)

APN: 001-032-016 (0.458 ACRES)
APN: 001-032-018 (0.771 ACRES)
APN: 001-032-026 (6.097 ACRES)
APN: 001-032-028 (0.935 ACRES)



POST-BOUNDARY LINE ADJUSTMENT
(PROPOSED CONDITION)

LOT 1: 1.177 ACRES
LOT 2: 1.070 ACRES
LOT 3: 2.531 ACRES
LOT 4: 3.495 ACRES



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RESCUE, CA 95672
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PLANNING DEPARTMENT SUBMITTAL

WILLOWS GATEWAY

APN: 001-0320-160, 180, 250, 260, WILLOWS, CA 95988

BOUNDARY LINE
ADJUSTMENT EXHIBIT

Project Number
21-220

Drawn By
TSM

Checked By
RFE

C5




















Planting Notes:

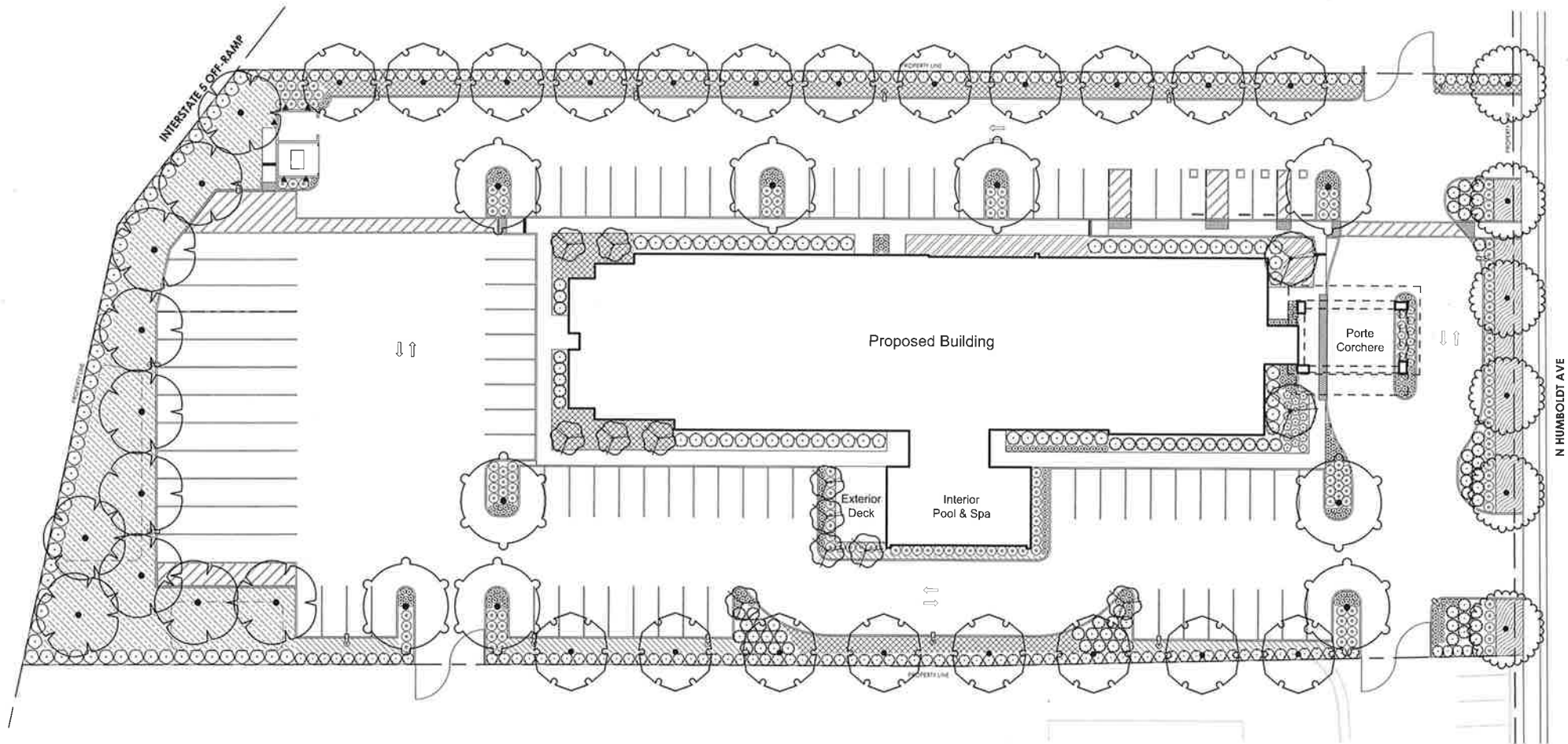
- Before beginning work, Contractor shall inspect the site. If any conditions existing that differ from what is shown on the plans and will affect Contractor's work, notify the owner or Landscape Architect immediately.
- When fine grading, Contractor is to be sure that water cannot pool against buildings or fences. If this or other drainage problem exists, use drainage structures (catch basins, perforated pipe, etc.) as necessary to eliminate the problem.
- Contractor shall furnish the City and Owner with a LTP-4 landscape soils report, from Sunland Analytical Lab (916) 652-8557 in Rancho Cordova or equal. Contractor is to follow the recommendations in accordance with the Model Water Efficiency Landscape Ordinance. All landscape areas are to be amended with compost (8 yards per 1,000 square feet, or approximately 3" deep) before planting. Rototill all planting areas at least 9" deep.
- Weed and weed seeds, both existing and potential, are to be addressed at all planting areas. Contractor to use a pre-emergent herbicide throughout the entire project area. All additives and herbicides selected must be safe for animals and young children. If any concerns arise, Contractor is to bring them to the attention of the Landscape Architect or Owner.
- Contractor to submit 2 photos of each plant (photo of entire plant, plus close-up of plant tag) to the Landscape Architect for approval prior to installation.
- Install linear root barriers at each tree within 7" of a paved surface. Use 10 linear feet (five 24" wide panels) of 24" deep DeepRoot panels, or equal, centered on tree, per manufacturer's instructions, at each edge of paved surface. The root barrier is to be installed linear against the curb or walk at 1" below adjacent finished grades. The gap between the barrier and paved surface shall be backfilled with soil.
- Contractor to verify quantities listed. Plant quantities are provided as a convenience only. If there is a discrepancy between the quantities provided and what is shown on the plans, then Contractor is to refer to the plans.
- Add fertilizer tablets (Agrium or similar) to each tree or shrub when planting in the following quantities:
1 gallon - 1 tablet, 5 gallon - 3 tablets, 15 gallon - 10 tablets, 24" box - 15 tablets
- The backfill mix for tree and shrub pits must use the following: 1 part compost to 2 parts native soil.
- Contractor to place 3" of recycled dark brown bark chip mulch to cover all planting areas.
- Contractor is responsible to ensure that all plant containers will not be treated as waste. Containers should be returned to a nursery or may be recycled. Plant tags are to be recycled when possible.
- Contractor is responsible to notify the City prior to work commencement and to set up an inspection schedule.
- Contractor is to maintain all landscape work for 60 days after the landscape has been accepted by the City of Willows.
- All work is to be guaranteed by the installing Contractor for one (1) full calendar year after acceptance by Owner unless specified otherwise.

Compliance Statement:

I have complied with the criteria of the Model Water Efficient Landscape Ordinance and applied them accordingly for the efficient use of water in the landscape design plan.

Planting Legend:

TREES				SHRUBS				GROUND COVERS			
BOTANICAL NAME	COMMON NAME	SIZE	SPACING	WUCOLS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	WUCOLS	QTY
 Acer palmatum	Japanese Maple	24" Box	per plan	M	2	 Arbutus unedo 'Compacia'	Dwarf Strawberry Tree	5 gal	6'	L	56
 Acer rubrum 'October Glory'	October Glory Red Maple	24" Box	per plan	M	6	 Dianella revoluta 'DR5000' TM	Little Rev Flax Lily	1 gal	2.5'	L	219
 Lagerstroemia 'Natchez'	White Crape Myrtle Multi-Trunk	24" Box	per plan	L	11	 Parthenocissus incuspidata 'Veitchii'	Boston Ivy	1 gal	per plan	M	5
 Pistacia chinensis 'Keith Davey'	Keith Davey Chinese Pistache	24" Box	per plan	L	20	 Prunus caroliniana 'Compacia'	Compact Carolina Laurel Cherry	5 gal	6'	L	59
 Platanus x aconifolia 'Columbia'	London Plane Tree	24" Box	per plan	M	11	 Rhaphiolepis umbellata 'Minor'	Yedda Hawthorn	5 gal	4'	L	152
 Ulmus parvifolia 'True Green'	True Green Lacebark Elm	24" Box	per plan	M	9	 Rosa x 'Meiraden' TM	Icecap Floribunda Rose	2 gal	3.5'	L	26
						 Salvia leucantha 'Santa Barbara'	Mexican Bush Sage	5 gal	5'	L	74
						 Xylosma congestum 'Compacia'	Compact Xylosma	5 gal	4.5'	L	184
						 Baccharis pilularis 'Pigeon Point'	Pigeon Point Coyote Brush	5 gal	8'	L	99
						 Coprosma patricii 'Verde Vista'	Verde Vista Minor Plant	1 gal	5'	L	155
						 Mahonia repens	Creeping Mahonia	1 gal	3.5'	L	61
						 Myoporum laetevirens	Trailing Myoporum	1 gal	4'	L	89
						 Verbena peruviana	Peruvian Verbena	1 gal	2.5'	L	168



OWNER
CONTRACTOR
This drawing is not final or to be used for construction until it is signed by the architect and the owner

PLANNING DEPARTMENT SUBMITTAL
WILLOWS GATEWAY
APN 001-0320-160, -180, -250, -260, WILLOWS, CA 95988

NOT FOR CONSTRUCTION

08/17/22 PLANNING DEPARTMENT SUBMITTAL

PRELIMINARY
LANDSCAPE PLAN

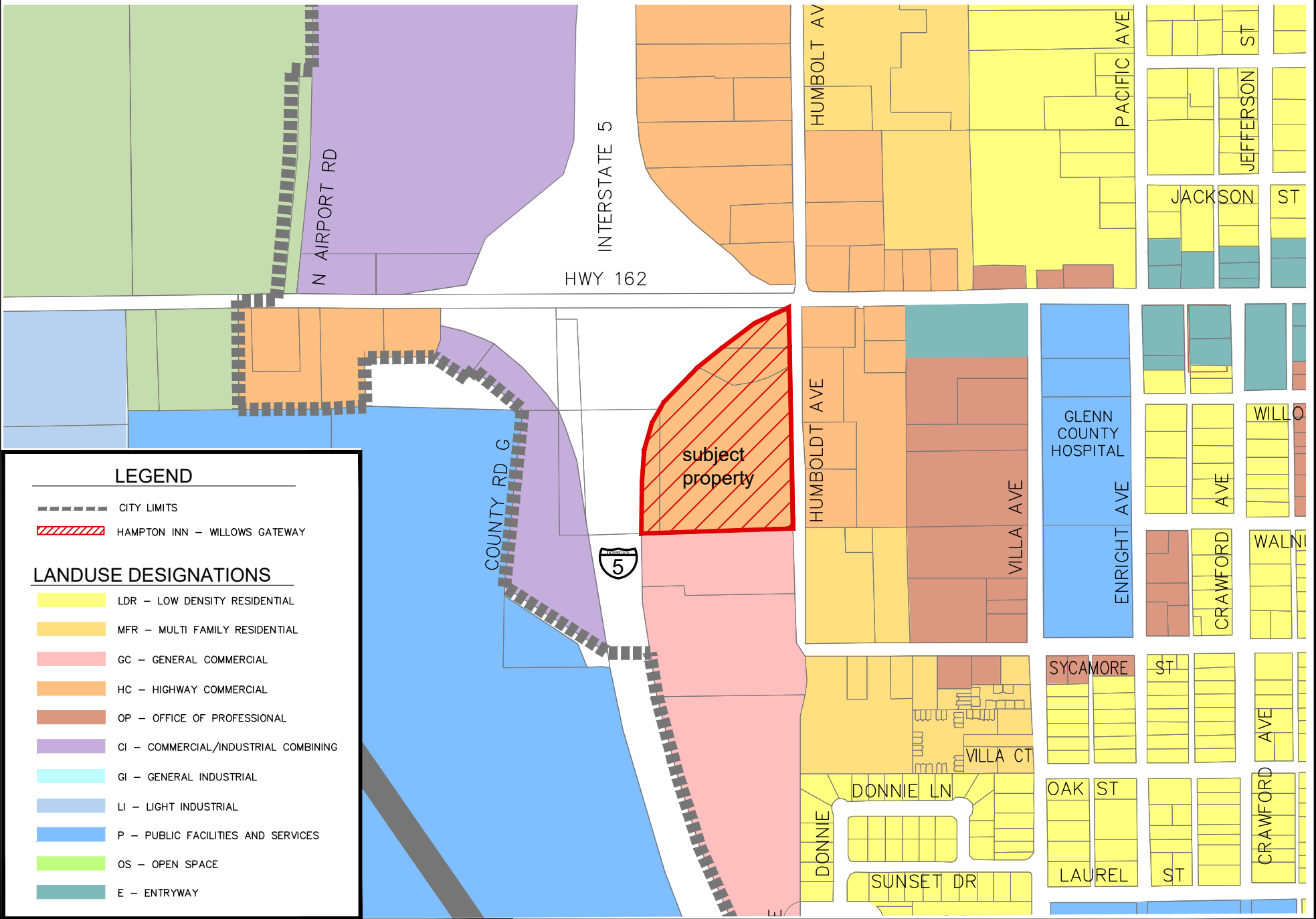
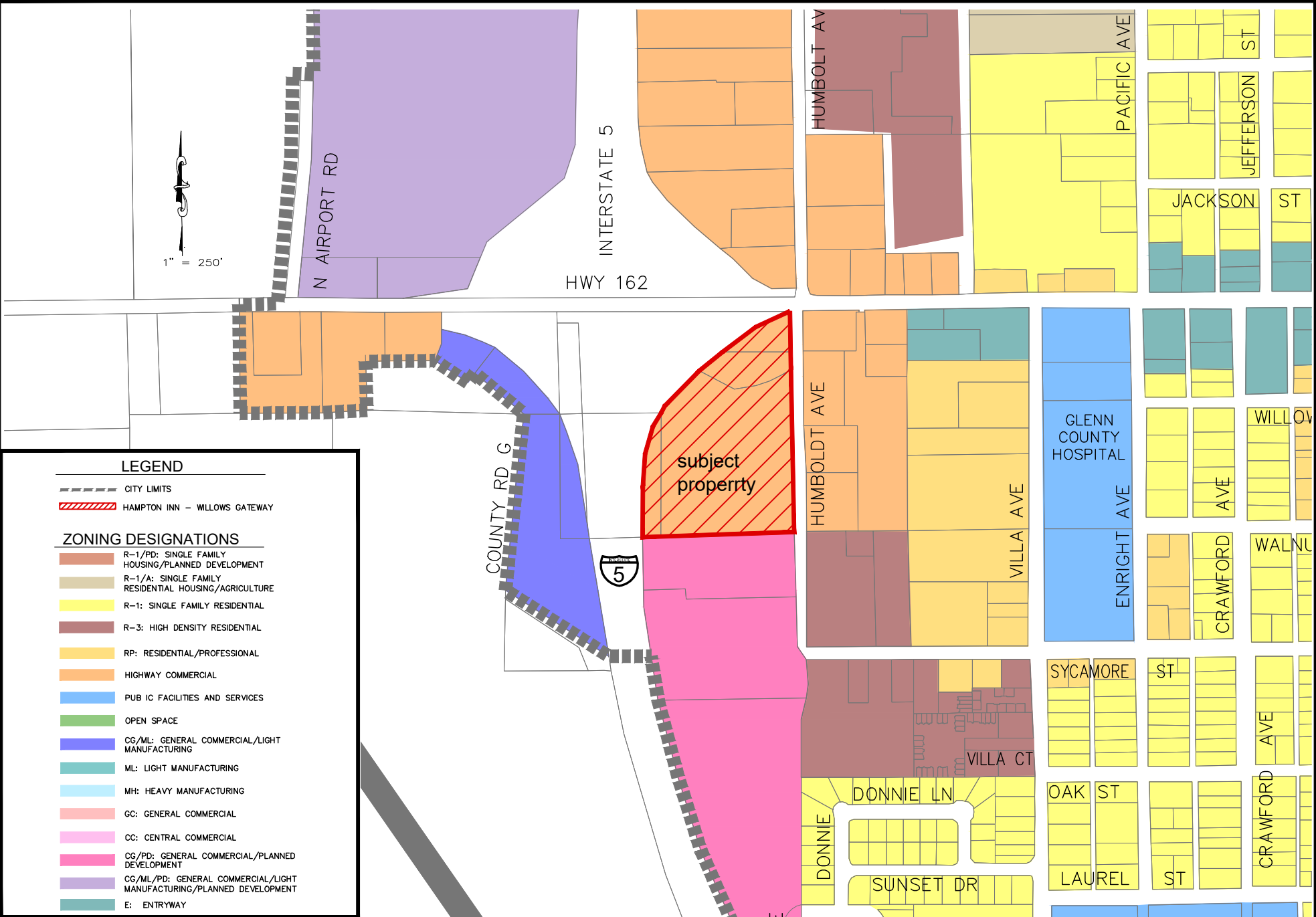
Project Number: 21032
Design By: L1
Checked By:

Linda Fish
Landscape Architect
linda@fishlandscape.com
(209) 656-7177
PLA #4346



Images: Willows.pg;Willows.jpg; Xrefs: Willows Base.dwg
Path: F:\Civil 3D Projects\724941 Hampton Inn\DWG\Hampton Inn - Willows Gateway - Zoning and General Plan Map.dwg Layout Name: Zoning 11x17 PDF Plot Date: Nov 18, 2022 at 11:42 am

ORIGINAL PLOT DATE: 18-JUN-2010





Date: December 14, 2022

To: Planning Commission

From: Karen Mantele, Principal Planner

Subject: Use Permit (File#22-04) and Design Review (File#DR-22-04) Willows Inn/725 S. Tehama Street/APN: 001-102-009/General Commercial zone

Recommendation: Staff recommends receive the Staff Report, attachments, discuss, and upon conclusion, adopt the attached resolution.

Rationale for Recommendation:

WMC Chapter 18.60.030(8) allows motels as a use within the General Commercial (CG) zoning district with use permit approval from the Planning Commission. WMC Chapter 18.141 requires Design Review for exterior changes to a commercial building.

Background:

The applicant purchased the Willows Inn property in January of 2022, a 9,144 SF building, built in 1947 along the Hwy 99 route for a motel use, and consisted of 18 units, with an attached storage unit added to the west end of the existing structure, and a separate unit north of the building.

The storage unit at the western end of the building, was not part of the original structure but constructed and used for a residential use with no utilities within this area. Mr. Sharma has since demolished that 400 SF section, via a demo permit. The removal allows for additional space in which to maneuver around the building/parcel. Other building permits for work being done on the outside (new stucco finish) and interior work, have been pulled. With the purchase of the property, Mr. Sharma inherited some long-term tenants of several years. The building is now empty and cleanup work has begun at the site.

Surrounding zoning to the north, south and east are the same as the subject parcel. A SFR use is north, the GCID Canal is south, and Tehama Street/vacant lot are to the east. Zoning to the west is R-1 with SFR uses. Prior use of the property as a motel ceased upon purchase and as a result, the use was deemed abandoned per WMC Chapter 18.110.090(1)(b) which states; *(b) If any nonconforming use is abandoned or discontinued for any reason, subsequent use of such land shall be in conformity with the provisions of this title. The discontinuance of a nonconforming use for a period of six months or more is, in itself, prima facie evidence of abandonment.* Therefore Mr. Sharma was required to apply for use permit approval in order to reestablish the motel use.

Discussion & Analysis:

USE PERMIT:

The proposal is to re-establish a motel use at the property, with a final goal to fully convert the building into residential apartment use, by the addition of three more-unit apartments along with use of the existing unit, to be completed in Phases 2 and 3, as described in the attached conversion plan submitted by Mr. Sharma, property owner.

Phase 1 would consist of 16 guest suite units, all within the motel structure, use allowed per the referenced code section above. The Willows Inn had been operating for many years as a motel with small kitchenettes, allowing weekly rental. Mr. Sharma intends to continue to use the same concept, with weekly room rentals stays, up to 30 days, with units being subject to the Motel User Tax (TOT) for the stays. With the increase of out of area workers into Glenn County because of new projects, kitchen efficiency units are being sought out. The renting of these units would further the economic vitality of the community and in the end, result in an increase in residential units to the city's housing stock. Additionally, this Phase will include filling in the existing swimming pool and adding a garden in the spot, and other site improvements discussed below in the Design Review analysis.

There will be an office/manager's unit located in the separate unit to the north of the motel structure (#17). All motel units will be efficiency one-bedroom units, to include kitchens with a refrigerator, stovetop, and sink. Unit sizes range from 244 SF to the largest at 626 SF. On site amenities include a coin operated laundry room, with detergent vending machine, open 24 hours a day, available seven days a week; an ice machine, and Wi-Fi high speed internet service for all rooms. Units will be fully furnished. There will be a designated smoking area onsite for users as well as sufficient parking, including several ADA parking spaces located near the front of the motel.

The (CG) General Commercial zoning district under Section 18.60.030(8) allows for motels as a conditionally permitted use. The WMC does not list "extended stay motels" as a use or definition within the code; however, in the city's history, these types of motels have allowed for extended type of stays during its time, as Tehama Street (a.k.a Hwy.99) was a major thorough fare in its' hey days and attracted many travelers who stayed beyond a night or two.

Research conducted on other cities definitions and their allowance of this type of motel indicates that a common definition for this type of use, is known as a "service apartment" a type of lodging with features unavailable at standard hotels/motels. These features are intended to provide more home-like amenities within a complex containing ten or more sleeping rooms used for temporary occupancy of transients and containing cooking facilities in more than 50 percent of the individual rooms. Other definitions for this type of use include a complex that uses a hotel-style booking system. It is similar to renting an apartment, but with no fixed contracts and occupants can "check-out" whenever they wish.

This type of motel typically has self-serve laundry facilities and offer discounts for extended stays, beginning at 5 or 7 days. They also have guestrooms (or "suites") with kitchens, that include at a minimum usually: a sink, a refrigerator (usually full size), a microwave oven, and a stovetop. Some kitchens also have dishwashers and conventional ovens. Extended Stay Motels are different from single room occupancy (*more commonly SRO, sometimes called a single resident occupancy*) which is a form of housing in which one or two people are housed in individual rooms (sometimes two rooms, or two rooms with a bathroom or half bathroom) within a multiple-tenant building. This is not the case with this proposal.

Phase 2 and Phase 3 are not part of the approval request before the Commission currently. However, the attached Reconstruction Plan spells out the final development goal of converting the motel to residential apartment use, which at such time will come before the Commission under a Use Permit for change of use.

DESIGN REVIEW ANALYSIS (pursuant to Section 18.141.060:

Competent Design: The proposed project is to re-establish a motel use within an existing commercial structure. No new development or additions are proposed with this Phase. The existing roof is a combination of composition shingles and tile. Any improvements made to the building shall meet the current building codes.

Relationship between Structures within the Development and between Structures and Site: The proposal is to re-establish a motel use within an existing commercial structure. No new development or addition is proposed at this time. The existing commercial building sits in the middle of the 34,848 SF parcel, facing Tehama Street. The existing unattached unit which sits north of the motel structure, will be used for the motel use as the office/managers unit and in the future for apartment use.

Relationship between Development and Neighborhood: The proposed project is a reuse and rehabilitation of an old structure, thereby adding value to the site and neighborhood. The clean-up of the site, repairing and remodeling of the structure, will enhance the neighborhood and surrounding area.

Materials and Colors Used: The existing building was a cement block wall/stucco exterior, white in color. Mr. Sharma has begun the process by the addition of stucco to the exterior and painting it white color. A building permit for the stucco work has been issued.

Walls, Fences, Screening: An existing fence is on the north, west and south sides of the parcel, and open to the east/Tehama Street, however a low fence does exist along the street side, but open at the driveways.

Lighting: The applicant will install wall pack lighting to the building on all sides, which shall be down cast lighting. A city streetlight is located across from the property. A fire alarm system will be installed per the conditions of approval.

Signage: There is an existing double poled 14-foot-high pole sign located along Tehama Street (eastern side of the property). Mr. Sharma obtained sign permit approval to remove the word "Vacancy" and replace it with the word "Weekly".

Drives, Parking and Circulation: There are two entrances into the subject property, providing sufficient circulation and ingress and egress of traffic, one on the north end of the parcel and one on the south end. The adjoining features to the project site include existing pavement on Tehama Street. There are no sidewalks along this portion of Tehama Street. The onsite improvements will be to re-surface and asphalt the aged parking lot. The parking code requirement per Section 18 .120. 020(1)(c) for motels is 1 parking space for every sleeping unit plus two for the managers unit. The proposal is for a total of 16 units, one being the managers unit, therefore requiring 18 parking spaces. The site plan submitted

proposes 28 off-street parking spaces, ten on the north side and ten on the south side, with 8 additional ADA parking spaces close to the building.

Landscaping: The applicant proposes additional landscaping to include an 8-foot-wide flower bed around the perimeter of the main building which will contain roses and cypress trees., and a True Grid method of surfacing, which is a permeable surface for grass and driveway areas. There are two existing mature palm trees near each driveway which will remain.

Utilities: The property has an existing sewer line, water main, gas meter and a power pole. The water company has stated they can service the parcel.

Trash: During Phase 1 the trash containers will be located at the north/western corner of the parcel and will be brought out to Tehama Street for waste hauling pick up. When phasing to the apartment use, a fully enclosed trash enclosure will be constructed.

Findings of Fact for use permit approval is required per WMC Chapter 18.135.050. These findings are included in the attached Draft Resolution.

In accordance with Section 18.135.030 notice of this public hearing was published in the local newspaper ten (10) days prior to the public hearing and all property owners as indicated on the latest secured Assessor's records within 400 feet of the subject property were sent notice of the hearing. As of the date of preparation of this report no written or verbal public comments have been received.

Fiscal Impact:

A PTA has been deposited for processing of the applications.

Attachments:

1. Draft Resolution
2. Draft Conditions of Approval
3. Willows Inn Renovation Plan – submitted by applicant
4. Lighting proposed
5. Unit Floor Plans
6. Zoning/General Plan map

PC RESOLUTION NO. ____ -2022

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF
WILLOWS APPROVING USE PERMIT (FILE #UP-22-07)
TO RE-ESTABLISH THE WILLOWS INN MOTEL BUSINESS
AND DESIGN REVIEW APPROVAL
(FILE #DR-22-04) FOR EXTERIOR BUILDING AND SITE IMPROVEMENTS FOR PROPERTY
LOCATED 725 S. TEHAMA STREET, ASSESSORS PARCEL 001-102-009**

WHEREAS the applicant Munish Sharma, has filed a Conditional Use Permit application to re-establish a motel within an existing commercial building providing weekly stays; and,

WHEREAS Section 18.60.030(8) allows for motel uses with Planning Commission approval of a Use Permit; and

WHEREAS the applicant, has filed a Design Review application for exterior building and site improvements, required per Section 18.141; and,

WHEREAS notices of the Planning Commission meeting held on December 14, 2022, were published in a newspaper of general circulation in the City in accordance with law, and mailing to property owners within 400 feet were sent; and,

WHEREAS the Planning Commission did, on December 14, 2022., hold a public hearing to consider all public oral and written comments, letters and documents, staff reports, and all other documents and evidence which are a part of the Record; and,

WHEREAS the Planning Commission has reviewed all evidence submitted in connection with the application, including public testimony, staff report, supporting documentation, City codes and regulations, and all other relevant documents and evidence which are part of the record of proceedings; and,

WHEREAS the Planning Commission finds that the use proposal is considered exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301, Class 1, Existing Facilities, and

WHEREAS the Planning Commission does find that the proposed use is consistent with the purposes of the district in which the site is located as,

- a. The General Commercial zoning district allows for motels with an approved Use Permit; within this zoning district per Section 18.60.030(8),

WHEREAS the Planning Commission does find that the proposed location of the use and the conditions under which it may be operated or maintained will not be detrimental to the public health, safety, or welfare or materially injurious to properties or improvements in the vicinity as,

- a) The zoning district allows for motel uses and
- b) The conditions of approval to allow the use have been included in the approval of his project to ensure the safety and welfare of the public are met; and

WHEREAS the Planning Commission does find that the proposed use is in conformance with the General Plan, as

- a. the property is located within the General Commercial land use designation, which allows for service-related businesses.
- b. General Plan goals, including DPS-18 which goal is to allow appropriate commercial development that enhances the economic vitality of the community.

NOW THEREFORE, BE IT RESOLVED, that the Planning Commission of the City of Willows does hereby find that the Use Permit proposal to reestablish a motel business within an existing commercial building, is consistent with the City of Willows General Plan, the City of Willows Municipal Code, and hereby approves Use Permit #UP-22-07, and approves the proposed exterior improvements and Design Review #DR-22-04, subject to the attached conditions of approval set forth in Attachment #2.

IT IS HEREBY CERTIFIED that the foregoing Resolution was duly adopted at a regular meeting of the Planning Commission of the City of Willows on Wednesday, the 14th day of December 2022 by the following vote, to wit:

AYES
NOES
ABSTAIN
ABSENT

APPROVED: _____
Pedro Bobadilla, Chair

ATTEST: _____
Recording Secretary

USE PERMIT (#UP-22-07) & DESIGN REVIEW (#DR-22-04)
CONDITIONS OF APPROVAL
Willows Inn MOTEL
FOR PROPERTY LOCATED at
725 S Tehama Street /APN: 001-102-009
PC approval date: _____, 2022

General:

1. That the applicant/developer shall enter into a Pass Through Agreement with the City of Willows to pay the cost of all planning review, plan checking and field inspection of this development.
2. If the use (Motel use) is not made on the project subject to the permit within one (1) year after the date of granting the permit, then without further action, the permit shall be null, and void and such use shall not be made of the property except upon the granting of a new permit.
3. All signage or signage change for the business shall be approved by the Planning Department prior to installation.
4. Any and all exterior lighting shall be installed shall be designed and to meet safety requirements and minimize glare onto adjacent property or residential areas. All lighting must meet the City Standards. All building mounted and site lighting shall be shielded lights, down lights, and or full cut off lights so that the bulb is not visible from off-site, and light does not create glare or hazard onto adjoining properties/streets.
5. Parking for the motel use shall be provided per the WMC parking regulations prior to use.
6. The Architectural Design Review approval shall expire in one year unless otherwise stipulated by the Planning Commission. The applicant may apply to the Building Official for an extension of not more than one year from the original date of expiration, if he finds that there has been no substantial change in the factual circumstances surrounding the originally approved design. Substantial changes and any further extension beyond one year shall require Planning Commission approval. Any further extension beyond one year shall require planning commission approval.
7. The developer shall adhere to the design presented for Architectural Design Review approval, regarding asphalt surface to the parking lot, landscaping, lighting, building exterior finish, repainting building.

Building Department

8. All alterations shall achieve code compliance of the CBC and shall comply with current federal, state and local codes and ordinances.
9. The parcel is within a special flood hazard AH on FEMA's Flood Insurance Rate map with a base flood elevation of 131. All work shall comply with the WMC Floodplain ordinance.

10. If the existing pool is filled in with dirt, compaction on the soil should be at least 90% relative compaction and observed by soils engineer to verify that it was done properly. All pool equipment, drain lines and fill lines shall be disconnected and either capped or completely removed.

Fire Department

11. All applicable fire fees shall be paid prior to the issuance of a building permit.
12. A Knox box shall be installed per Fire Chief approval. WMC 15.15.130.
13. All alarm systems must meet the approval of the Fire Chief per WMC 15.15.120
14. The building address signing shall meet all WMC 15.15.100 criteria and be reviewed by the Fire Chief.
15. Provide fire extinguishers in accordance with the 2019 CFC.
16. On-site surfacing will meet CFC Chapter and Section 15.15.090-Fire Apparatus Access Roads.
17. Red curbs maybe required and will be reviewed at the time of construction by the Fire Chief.

Finance Department:

18. The Motel shall abide by, and adhere to, all aspects of the Willows Municipal Code Section.25 (Hotel Users Tax). Motel Manager shall contact the Finance Department regarding payment of TOT.

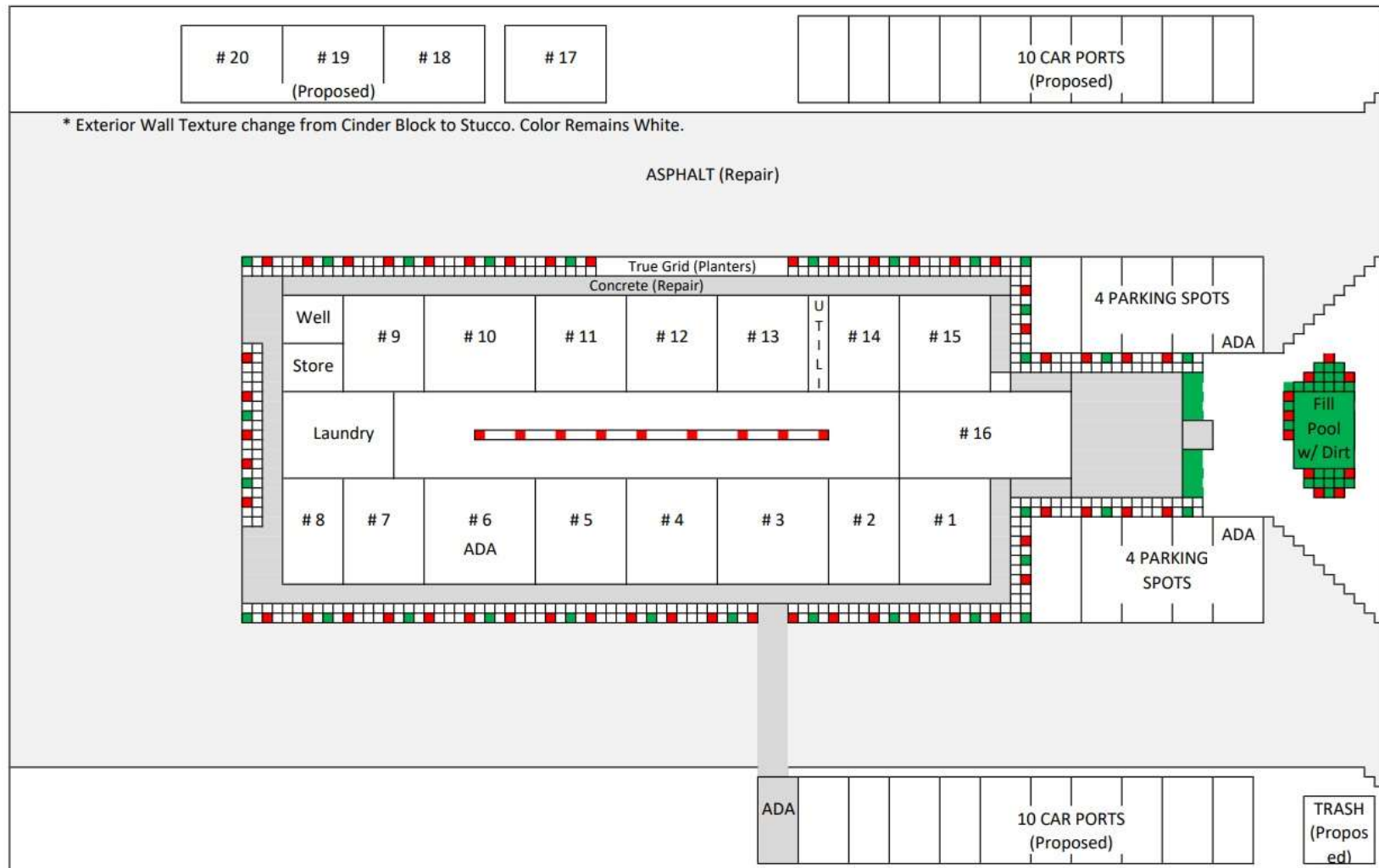
Willows Inn

Apartments

- Purchased in January 2022.
- 18 units Motel was in operation.
- Each unit had a kitchen.
- We inherited some Long-Term Tenants of several years. They were not paying TOT.
- Unit # 17 was a separate structure.
- Unit # 18 was a storage unit of which a part was being used as a non-conforming residential unit. It had no utilities.



Proposed – 20 Units Apartment Complex



3 – Phase

Conversion Plan

- Phase 1:
 - Update 16 guest suites.
 - Remove non-conforming structure in the rear.
 - Fill Pool with dirt and convert it into a Garden.
 - Repair the concrete corridor and stucco exterior wall.
 - Repair asphalt driveway around the perimeter.
 - Designate 28 car parking spots.
 - Landscape around the perimeter using True-Grid.
 - Operate the motel until Phase 2 is complete. Rent Weekly.
- Phase 2:
 - Build two carport structures with 10 stalls each.
 - Build trash enclosure.
 - Remove “Willows Inn” Sign
 - Rent 17 units until Phase 3 is complete. Rent Monthly.
- Phase 3:
 - Build Unit #18, #19 and #20.



Phase 1:

Update 16 guest suites

-
- New Paint, Flooring, Cabinets and Fans
 - New Appliances, Furniture and TV
 - New Mirror and Vanity
 - Replace Window A/C units with Split A/C units



Phase 1:

Remove non-conforming structure

- A non-conforming addition to the main structure existed in the rear of the building.
- This addition had mainly been used as a storage unit.
- This addition did not have any utilities.
- Some portion of this structure had been used as a non-conforming residential unit.
- Plan is to demolish this structure.



Phase 1:

Fill swimming pool with dirt

- The swimming pool is over 50 years old and have been closed for more than 20 years.
- Remains of pool-apparatus like filter, pump and regulators still sit on the sidewalk.
- Pool is planned to be filled with dirt and converted into a garden for a nice curb appeal.
- Safety fence and pool-apparatus will be removed.



Phase 1:

Repair concrete corridor and Stucco exterior wall

- Corridor around the perimeter of the main building was old and cracked and needed repair.
- Corridor was repaired and raised in order to provide easy access to the guest rooms.
- ADA ramps will be provided in order to incorporate required Path of Travel.
- Paint on exterior wall was degraded and needed repair. New stucco will be applied and repainted.
- Exterior Wall will be re-painted 'White'.



Phase 1:

Repair Asphalt Driveway

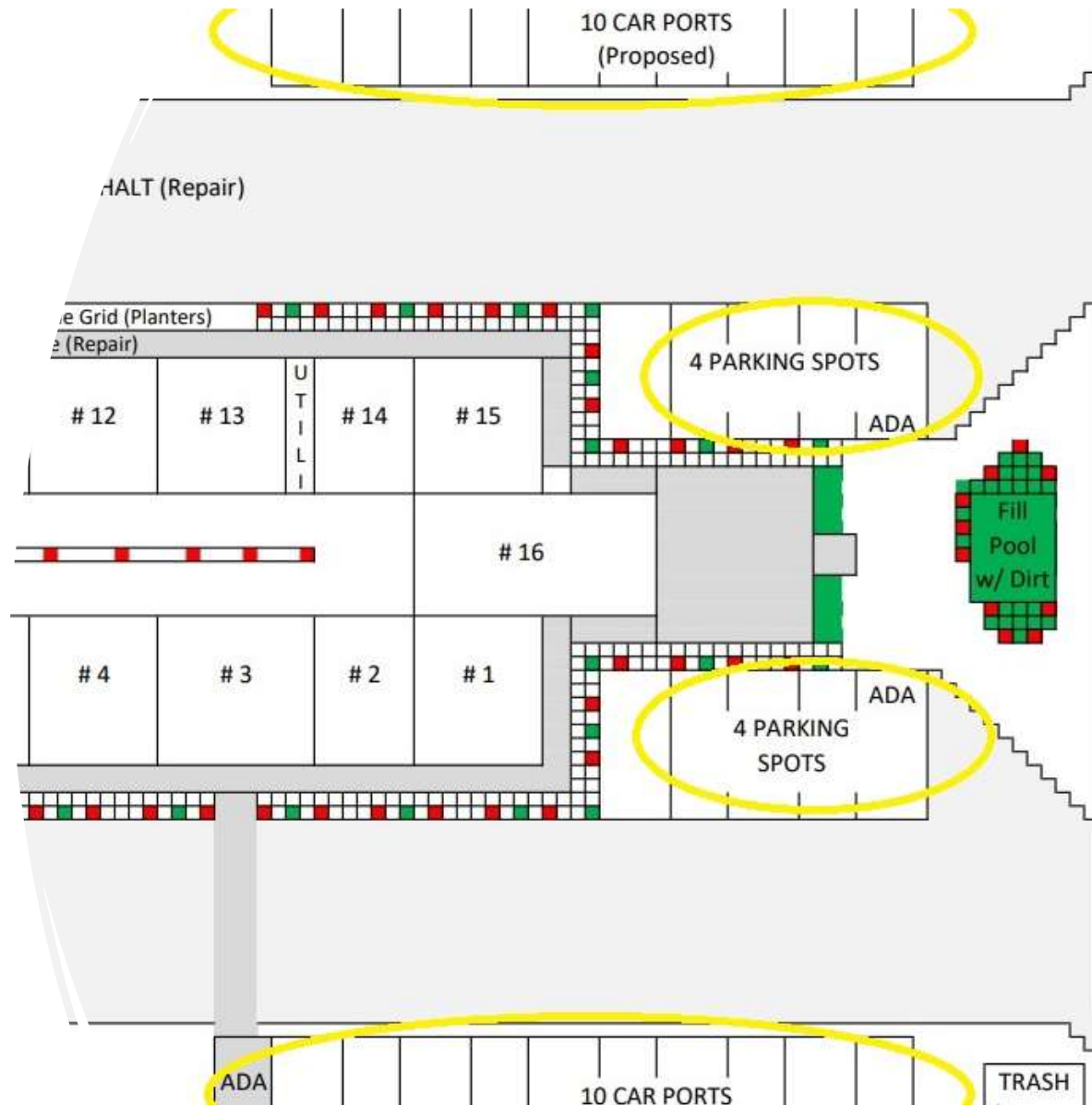
- Asphalt Driveway around the main building is old and cracked and need repair.
- Asphalt Driveway will be repaired and seal coated.



Phase 1:

Designate 28 Parking Spots

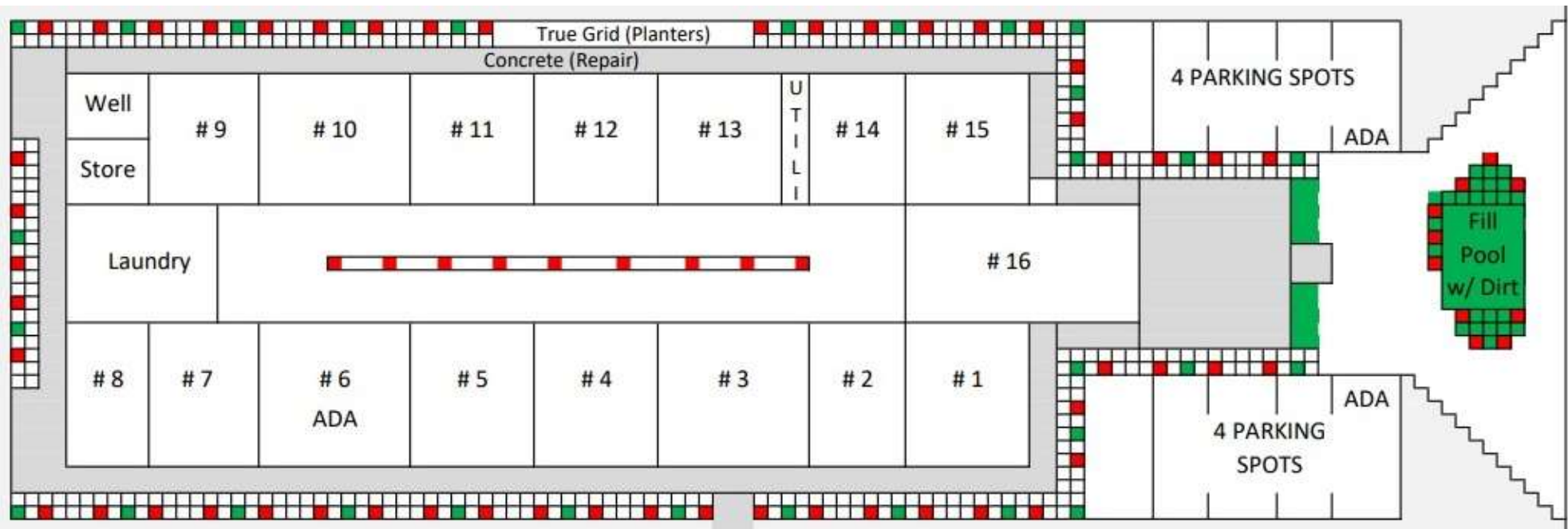
- The motel has an over-sized lot and space for plenty of parking spots.
- 8 parking spots will be designated close to the main entrance.
- 20 parking spots will be designated close to the boundary walls. These parking spots will be converted into covered carports during Phase 2.



Phase 1:

Landscaping

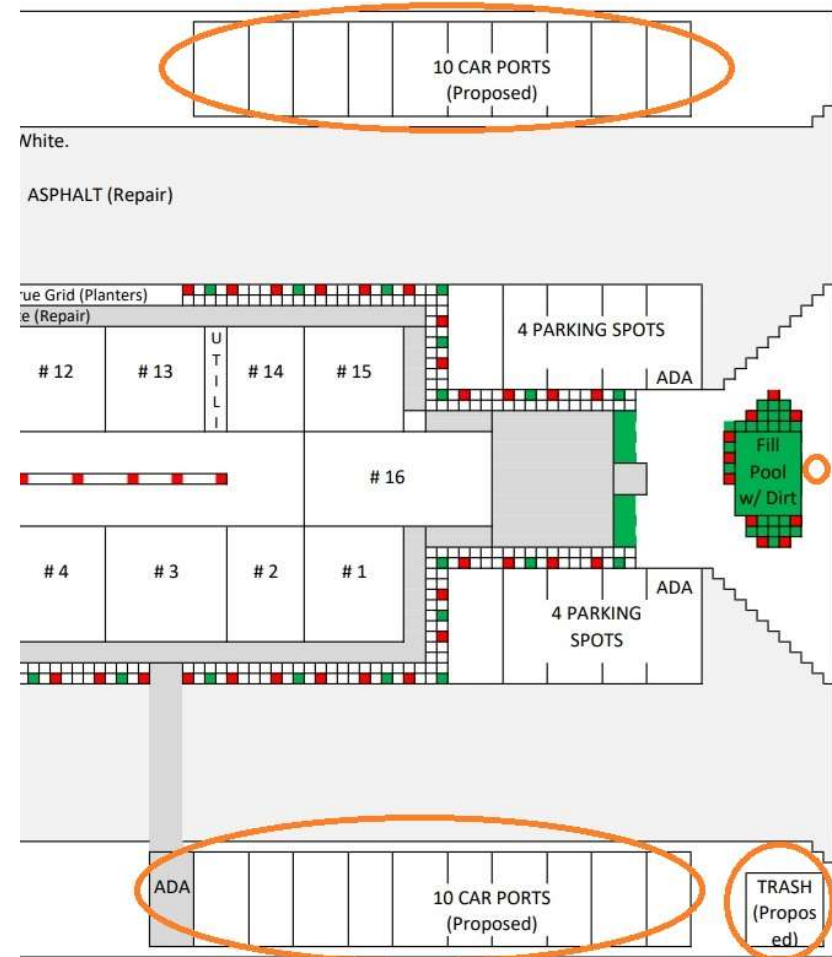
- 8' wide flower-bed around the perimeter of the main building will contain 100 Rose plants and 40 Italian Cypress trees surrounded with white landscaping rocks.
- Pool area will have grassy lawn surrounded with a flower bed of rose plants.



Phase 2:

Build Carports and Trash Enclosure

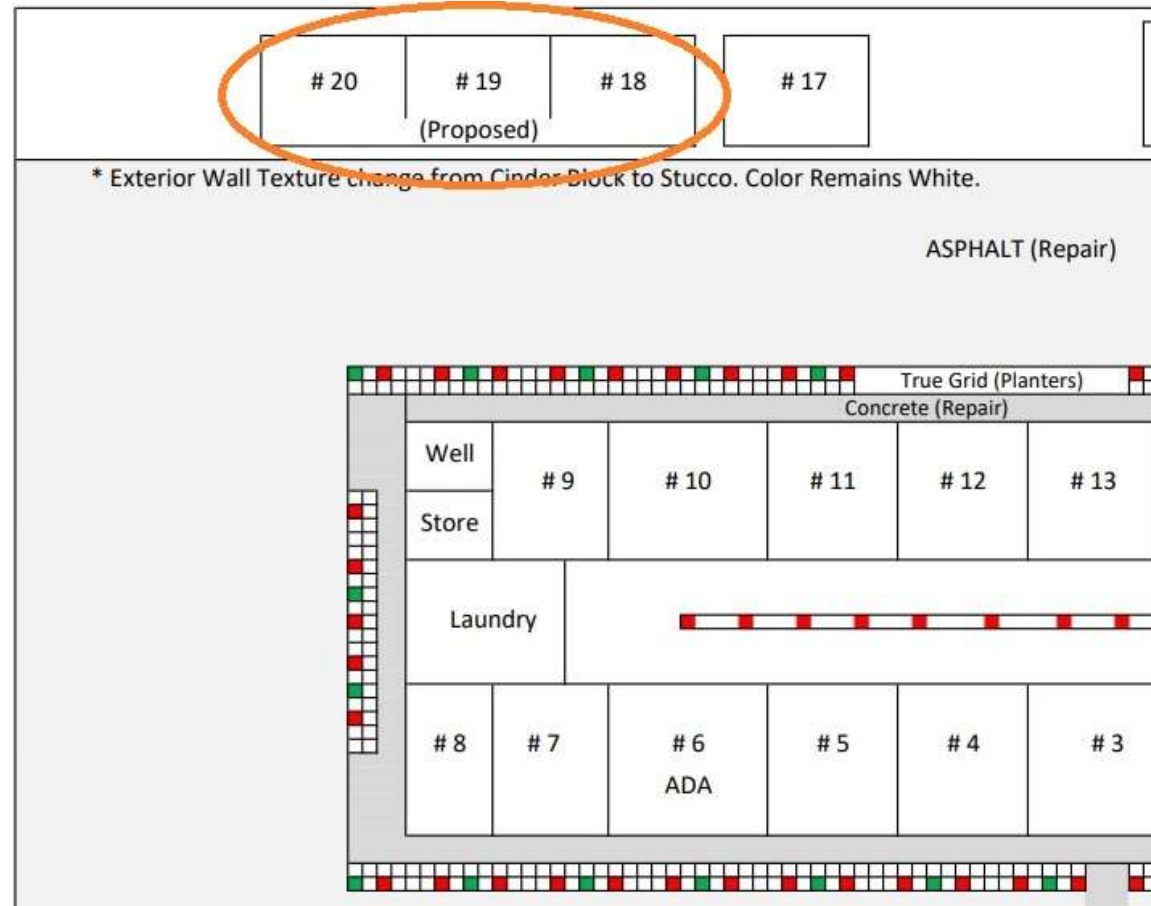
- 20 parking spots that were designated during Phase – 1 will be converted into covered carports.
- One spot will be ADA van-accessible parking spot with a path of travel to the ADA unit (#6).
- Two structures with a capacity of 10 car stalls each will be built. One close to the north boundary wall and second close to the south boundary wall. Each of the structure will have a capability to hold Solar-Panels.
- A Trash Enclosure will be built close to the south boundary wall.
- ‘Willows Inn’ sign will be removed.



Phase 3:

Build Units 18, 19 and 20

- Build one new building structure with 3 studio units close to the northwest corner. Number them 18, 19 and 20.
- It will be ensured that the finished floor is one foot higher than the Base Flood Elevation (131').



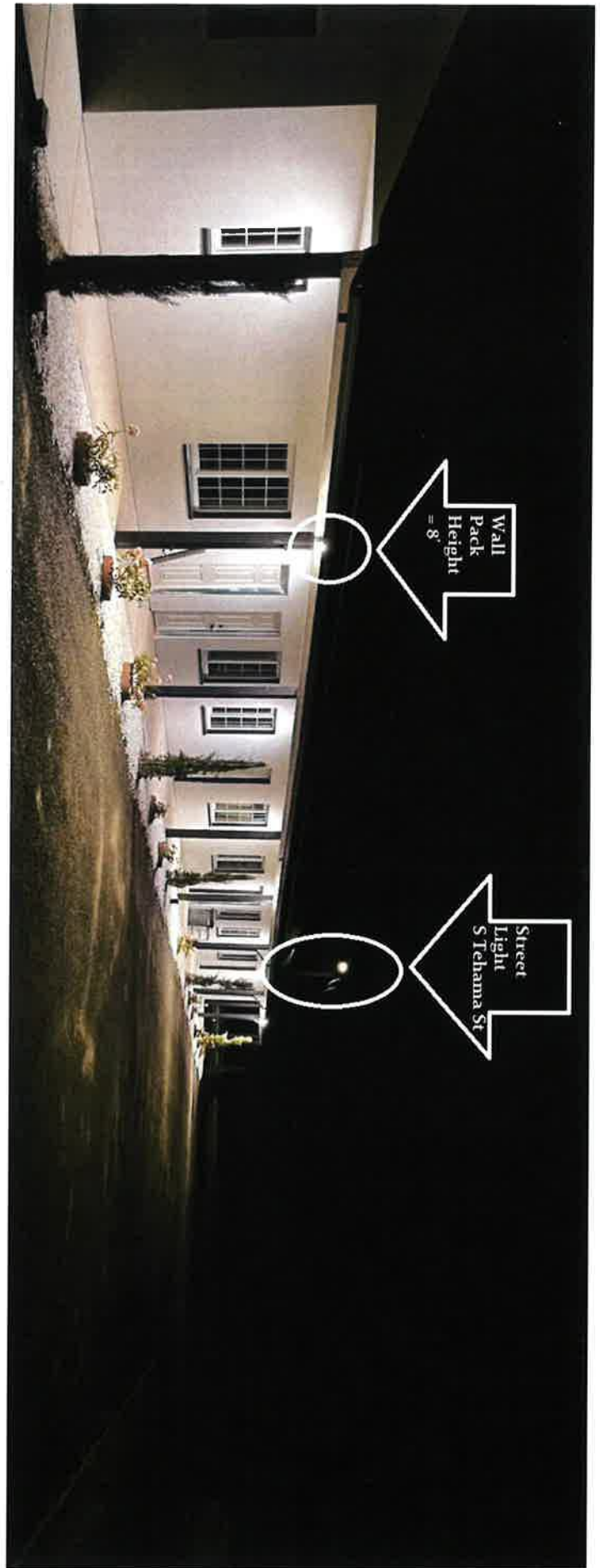
Previous Projects By: Munish Sharma



Red Bluff, CA

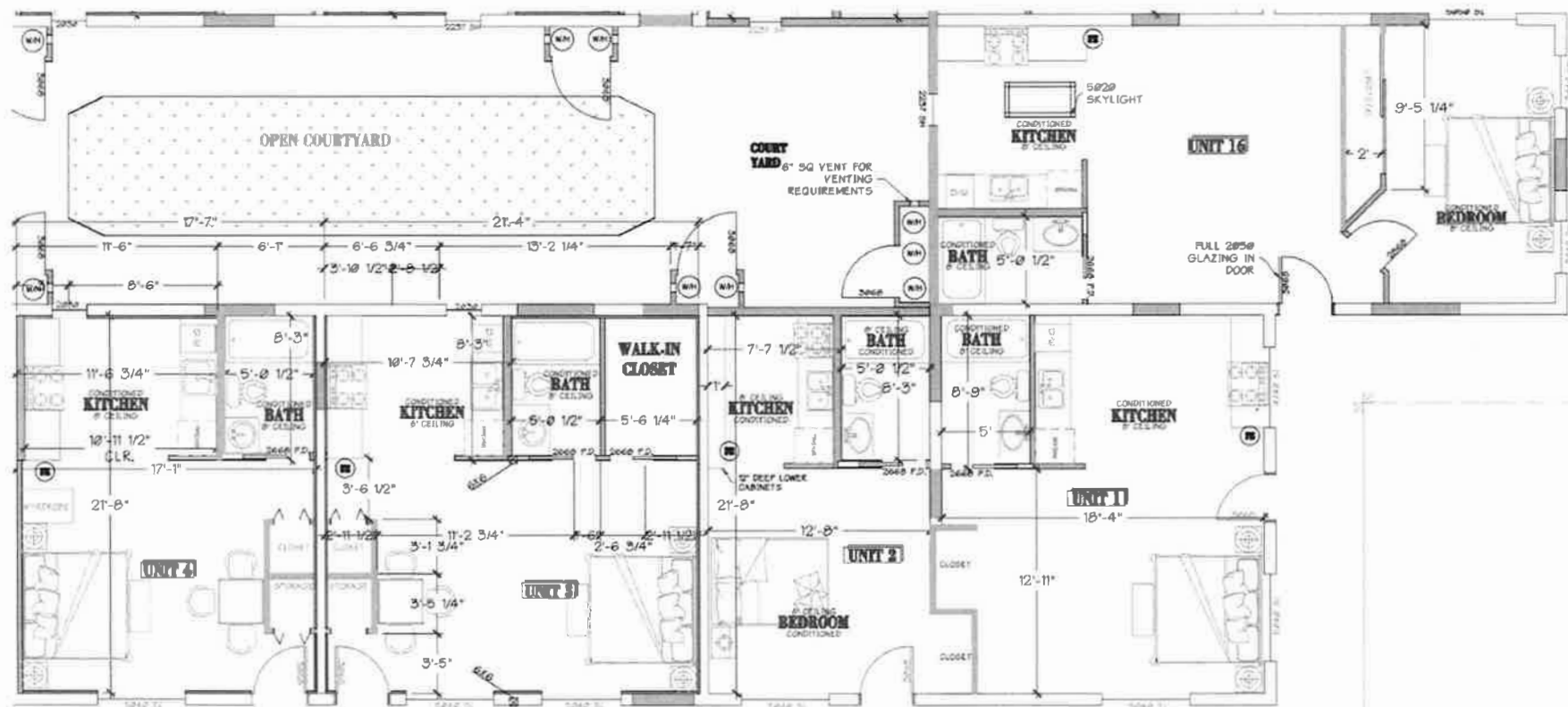


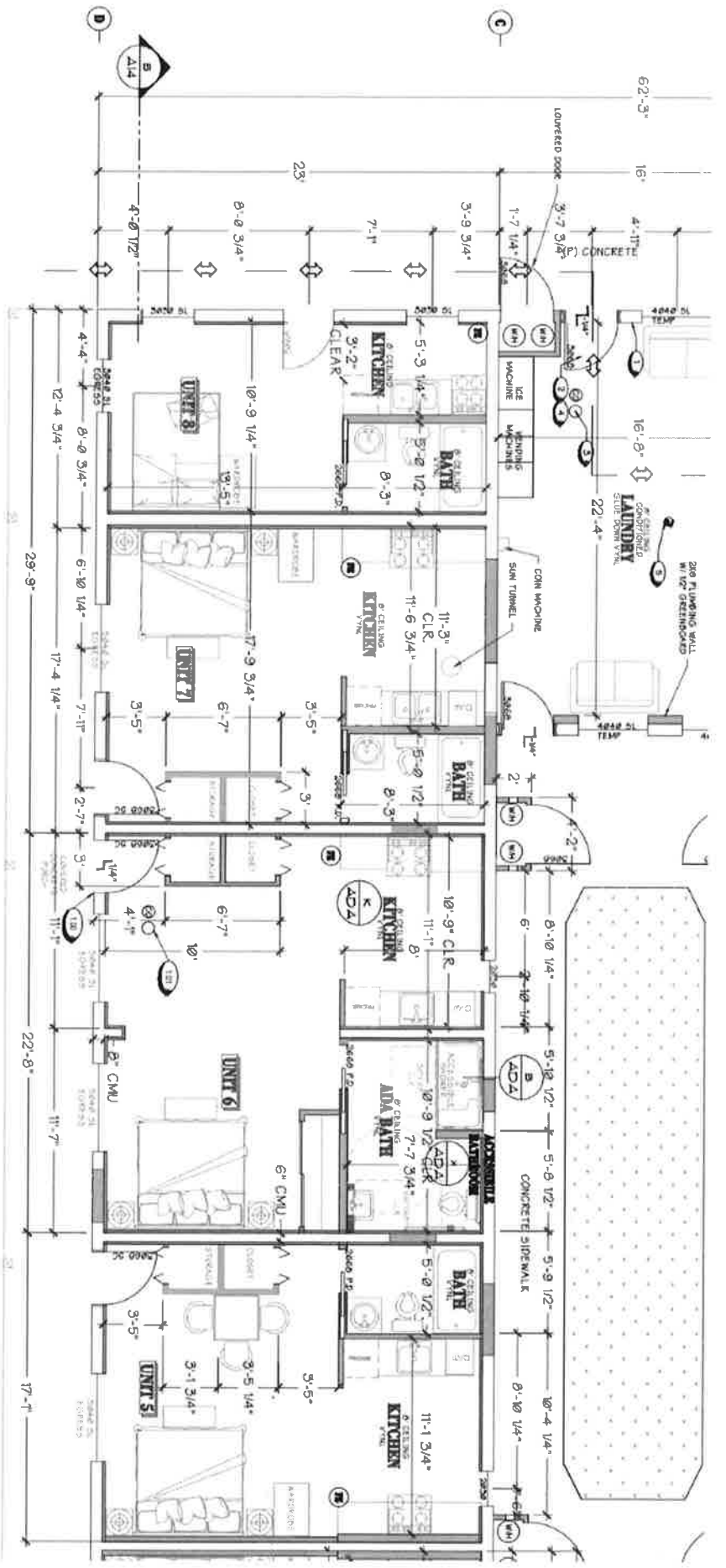
Willows, CA

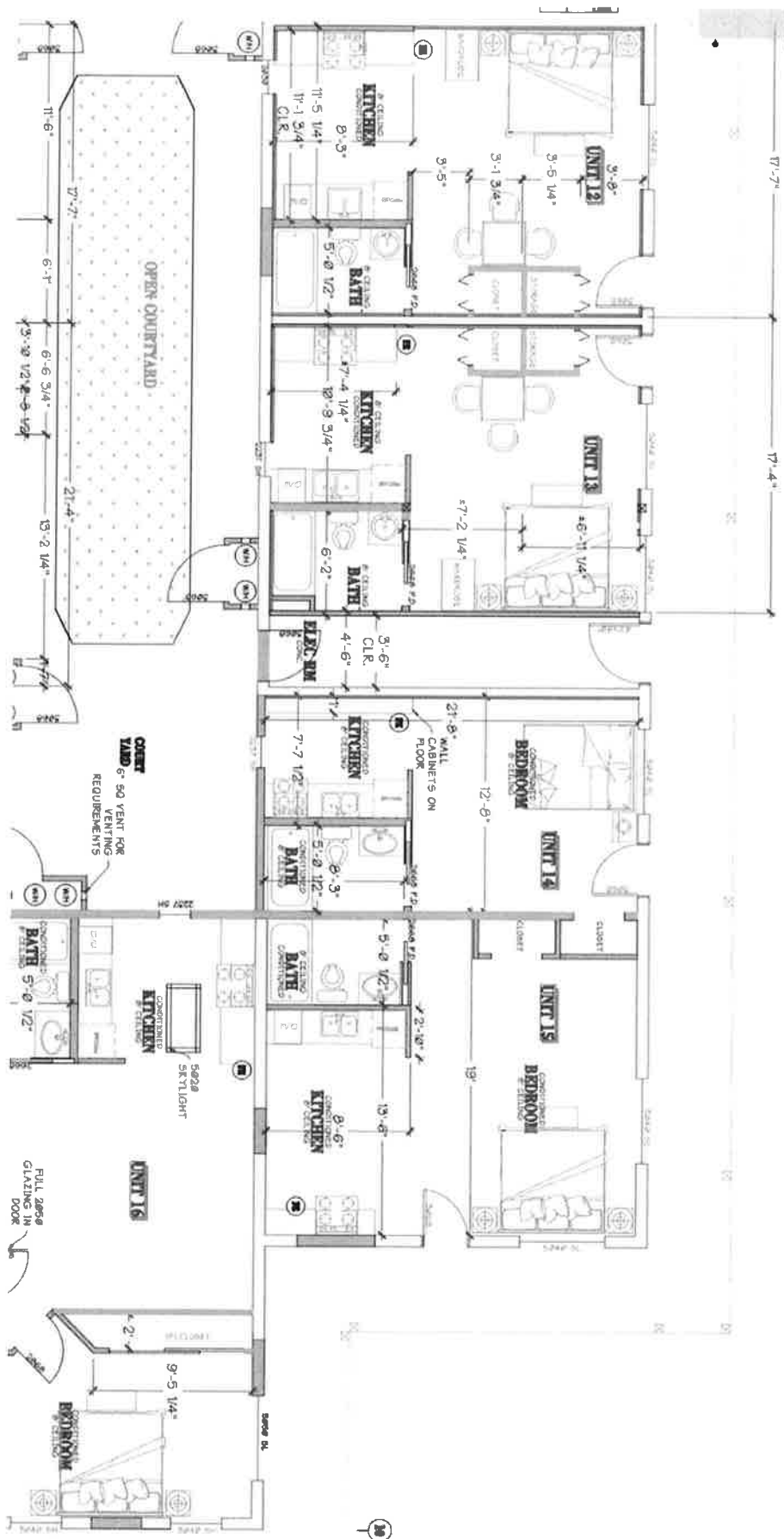


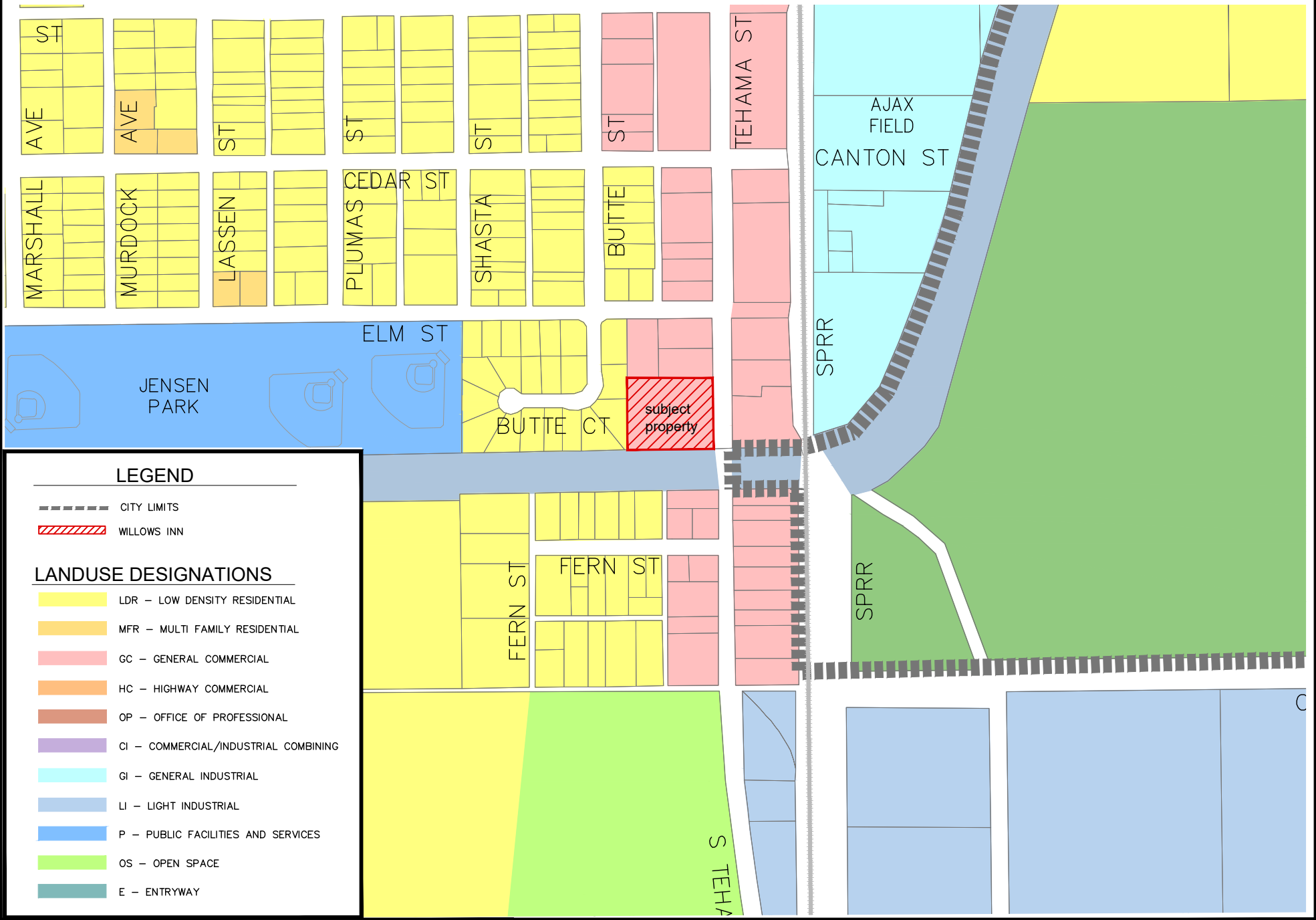
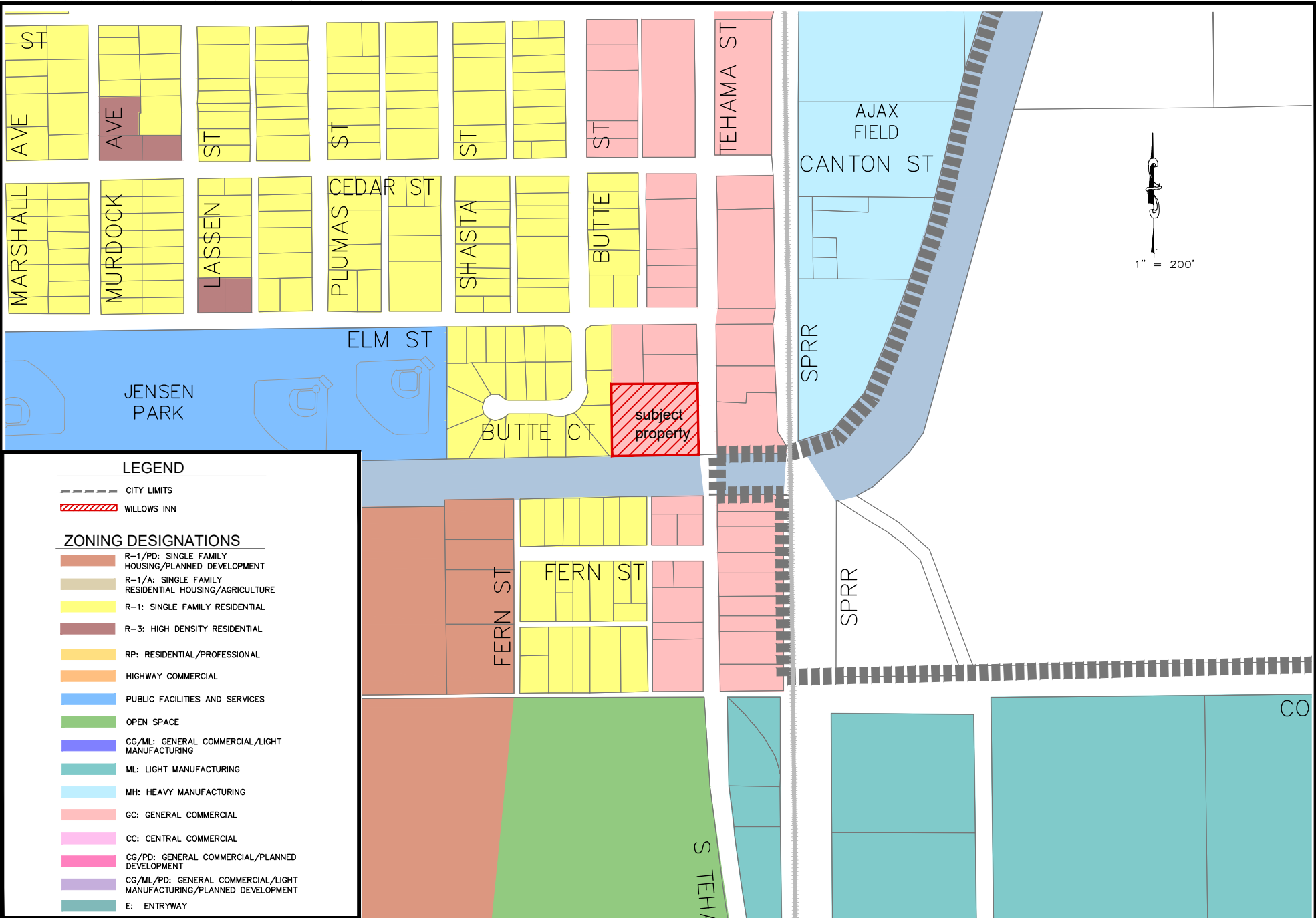
7. New lighting proposed on the building? Wall packs.





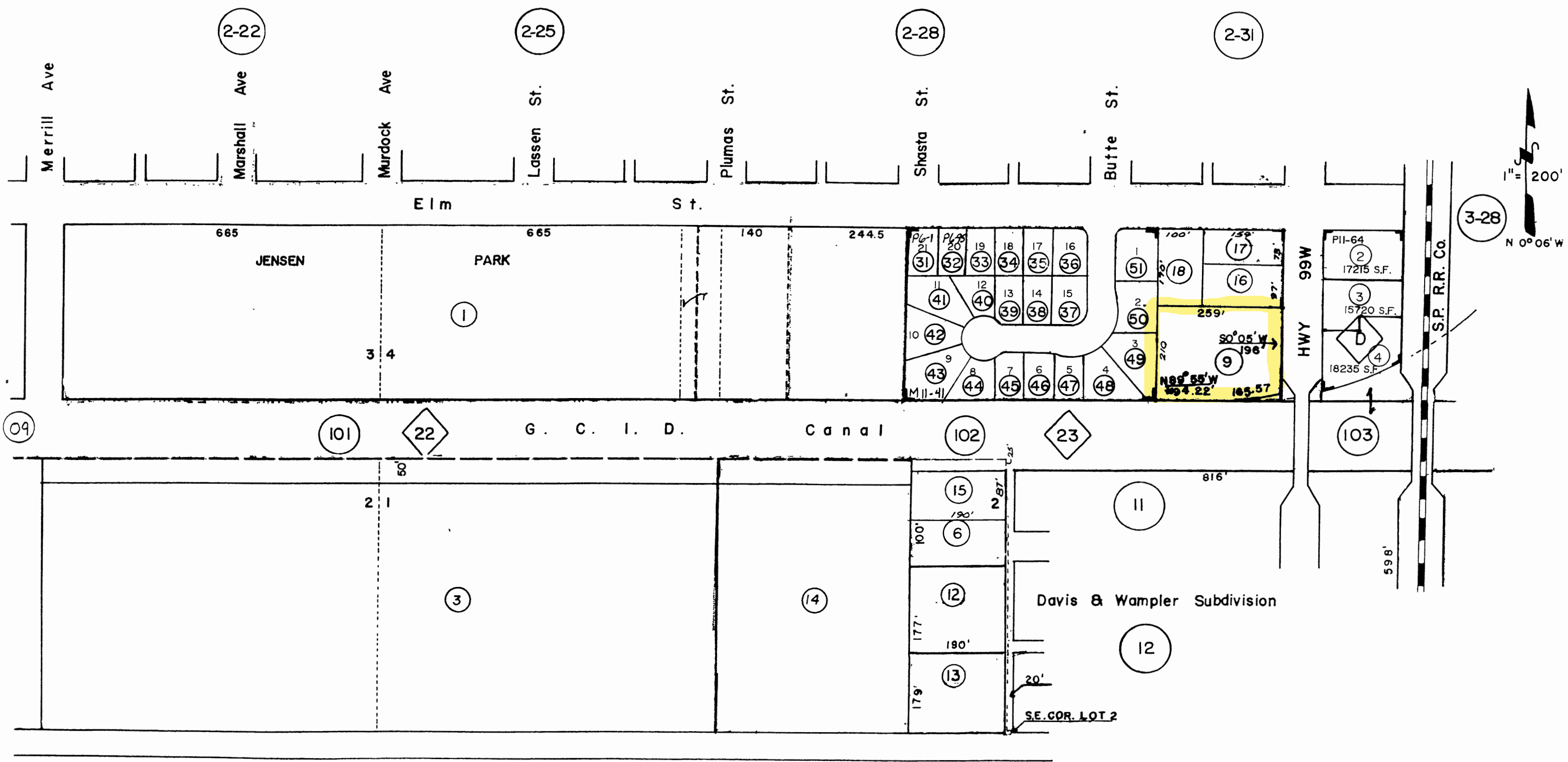






VILLA LOTS

This map is for assessment purposes only. All acreages are more or less.





Date: December 14, 2022

To: Planning Commission

From: Karen Mantele, Principal Planner

Subject: Use Permit (File# UP-22-08) Retail Dispensary Cannabis Business use and Design Review
(File#DR-22-06) Building and Site Improvements

Recommendation:

Staff recommends the Commission receive the Staff Report, attachments, discuss, and upon conclusion, adopt the attached resolution.

Rationale for Recommendation:

Per WMC Section 9.20.070, the city shall authorize for a retail dispensary cannabis business with use permit approval. WMC Section 18.141.45 states that all new commercial buildings and improvements require Design Review approval.

Background:

On November 28, 2017, the Willows City Council adopted a Cannabis Ordinance (#736-2017) to facilitate the approval, regulation, and operation of cannabis businesses. This ordinance, as chaptered in the Willows Municipal Code ("WMC") along with State laws and regulations imposes strict zoning, security, and operational requirements on cannabis dispensaries. Thereafter, on November 28, 2018, the Willows City Council adopted a resolution (#32-2017) allowing up to two (2) commercial retail cannabis dispensaries within the City.

An RFP (Request for Proposals) for applications for a Cannabis Retail Dispensary Permit, was initially released to the public in late November of 2018, with a submittal deadline of January 2019. One application was received, and the business went through the process as outlined within the WMC. A Use Permit application was applied for and granted to Element 7, as well as the business license from the City Council. However, the business did not materialize, and the Commission and Council approvals died for lack of follow through.

A second RFP (Request for Proposals) was released to the public in January 2022 with submittals requested by end of February 2022. No responses were received as a result of this RFP.

On April 27, 2022, a third RFP (Request for Proposals) for applications for a Cannabis Retail Dispensary Permit was released to the public (and to a list of interested individuals who had contacted the city for this notice) with a submittal deadline of June 1, 2022. There were several inquiries during the process;

however, by the end of the RFP submittal period, only one proposal for a Phase 1 application was filed with the city; that was from Sundial Collective.

This Phase 1 application and submittals was reviewed to determine completeness before Phase 2 of the process could begin. That was achieved and Sundial Collective was notified by the City Manager on June 29, 2022, that they could proceed forward to Phase 2. Subsequently a Phase 2 application was submitted and reviewed by staff and on October 17, 2022, the applicant was notified that the Phase 2 submittal was determined to be complete, and they could proceed to the Use Permit stage.

The project is subject to the requirements of the WMC for such use, and additionally, the property is subject to the Planned Development Standards and Uses adopted for the South Willow Commercial/Industrial Tentative Map and adopted conditions of approval for the commercial tentative map.

Discussion & Analysis:

As part of the project approval, the applicant must ultimately receive Use Permit Approval from the Planning Commission, (*under Section 9.20.070*) and a business license approval from the City Council. (*Under Section 9.20.080(1)*).

USE PERMIT: The applicant has submitted for Use Permit approval to establish a storefront medical and adult use retail commercial cannabis dispensary with delivery services, as permitted under WMC Section 9.20.070, and Section 18.135. The project site is located in the southern portion of the City of Willows and is zoned CG/ML/PD. Zoning to the north, south, and west are the same as the subject parcel, with commercial uses east of the site, to include the city sewer lift station, and the Wilbur Ellis facility. Interstate I-5 is to the west and Tehama Street (aka Hwy.99) is to the east, and beyond is light industrial zoning.

The General Plan Land Use designation for this site is Commercial/Industrial Combining pursuant to the City's General Plan Land Use Map. The proposed use is consistent with this designation, which designation provides for general commercial uses or light industrial uses.

This combined zoning district allows for various permitted uses as also listed within the adopted Planned Development Standards and Uses for the South Willows Commercial Industrial Center Tentative Map. The proposed use is considered a general retail establishment, which is permitted under these standards. Any development within this Commercial Industrial property is subject to the final conditions of approval and mitigation measures for the commercial/industrial tentative map adopted by the Planning Commission on July 29, 2009. A use permit is required per Section 9.20.070, with the term of an initially issued retail/dispensary business cannabis license shall be one year. (*Section 9.20.071(4)*).

Additionally, per code Section 9.20.070(7) For the convenience and efficiency of both the applicant and the City, applications for retail/dispensary cannabis business licenses shall be processed in three phases: *(a) a preliminary application intended to confirm the eligibility and suitability of the applicant(s), as determined in the sole discretion of the City of Willows; (b) significant information about the proposed site of the business, proposed operations, security and other detailed business operations; and (c) final consideration and approval/disapproval by the city council.* A preliminary application was submitted to the City on June 1, 2022; (a); significant information about the proposed site, operations, and security have been submitted and reviewed by the City and commenting departments/agencies (b); and final

consideration and approval by the City Council shall take place upon Use Permit approval (c) final consideration and approval/disapproval by the city council.

Delivery services will be provided with this use and are allowed under the WMC. Delivery services shall comply with the requirements set forth in this chapter and state law. The security plan protocols are established within the Security Plan which was submitted to the city and also reviewed by the Glenn County Sheriff Department with no comments.

The business anticipates 15 employees will be hired for the first year to operate the business and provide services to the public and anticipates scaling to 25 employees within the first two years of operations. Licensees shall ensure that no person less than 21 years of age is permitted to work as an employee, to purchase cannabis or cannabis products, or to be on the premises of the licensee at any time.

Per WMC Section 9.20.080 *General conditions for all retail/dispensary cannabis business licenses*; any retail dispensary shall be held to these general conditions. Per WMC Section 9.20.070(1)(c), Drive-through or walk-up window services are prohibited at all retail/dispensary cannabis establishments in the City of Willows.

Hours of Operation:

WMC states that all permitted retail/dispensary cannabis business premises shall be closed to the public, and transporter deliveries, and pick-ups shall be prohibited between the hours of 7:00 p.m. and 8:00 a.m. The proposed hours of operation meet these requirements.

Proximity to Schools:

Proximity to sensitive uses, pursuant to city regulations, a retail dispensary may not operate within 1000 feet of any church, elementary school, middle school, high school, licensed day care or preschool facility, playground, or park. The property site meets the restrictions and buffering required within the WMC, as none of these sensitive uses are within 1000 feet of the subject property. See attached 1000-foot radius map.

Odor Control:

As required under the general conditions of the WMC, odors shall be contained on the property on which the commercial cannabis activity is located. If the City receives any odor complaints, the cannabis business shall work with the building official or his designee to correct odor concerns. Unresolved or repeated odor complaints may be basis for suspension or revocation of the license or denial of license renewal.

Health Permit:

Businesses that sell or manufacture edible cannabis products shall have a valid Glenn County health permit. Permit holders shall comply with Health and Safety Code Section [13700](#) et seq., and Glenn County health permit requirements. Such requirements provide a system of prevention and overlapping safeguards designed to minimize foodborne illness, ensure employee health, demonstrate industry manager knowledge, ensure safe food preparation practices, and delineate acceptable levels of sanitation for preparation of edible products.

Delivery Services:

Per WMC Chapter 9.20.070(1)(a)(i) states; *Delivery of cannabis and cannabis products to customers at locations within the City of Willows shall be permitted only in conjunction with a cannabis retail*

establishment that has a physical location and a retail storefront open to the public within the city of Willows. The proposal includes delivery services. An operational plan shall be submitted regarding delivery, and Sundial Collective has submitted an SOP for Delivery Services that meet the intent of the code. Per the WMC, a cannabis retail establishment shall not conduct sales exclusively by delivery.

Security Plan:

Every cannabis business shall maintain a commercial burglar alarm monitoring system and install a video surveillance system. A security plan and SOP (Standard Operating Procedures) was received and reviewed by the County of Glenn Sheriff Department with the comment that the Plan appears to be in order and all law requirements met. As detailed in the Security SOP's, cannabis or cannabis product will not be stored, kept, or otherwise accessed from the outside of the building. Loading and unloading of cannabis or cannabis products is allowed during business operating hours only. All exterior doors will remain locked and be accessible for operation by employees only. The project Security Plan seeks to ensure safety and to effectively prevent theft or diversion of any cannabis or currency, as well as to discourage loitering, crime, and illegal or nuisance activities. There will be 24/7 camera surveillance and security guard will be present one hour before opening and one hour after closing, seven days a week. This type of security not only makes the business safer but also makes the surrounding neighborhood safer. The facility will be equipped with a fire alarm system, monitored 24/7 by a third party.

Sundial Collective facility will only be accessible to authorized individuals, 21 years of age and older. Visitors and contractors will be limited and will wear a badge, be escorted at all times, and be limited to the time and areas necessary for their visit.

Section 9.20.080 (1) states, Prior to commencing business operations pursuant to a cannabis retail/dispensary business license issued by the City of Willows, the applicant shall hold a certificate of authorization issued by the City of Willows. Certificates of authorization shall be issued only to applicants who hold (a) a retail/dispensary cannabis sales license issued by the City of Willows, (b) a use permit issued by the City of Willows Planning Commission, and (c) California state-issued A-license and/or M-license. Other conditions listed within this section are relative to hours of business operation, odor control, age limitation, security measures plan, labeling, minors, inspection records/inspections, package labeling, liability insurance requirements, written records, operations accounting, change of ownership, and violations.

Good Neighbor Policy:

Sundial Collective institutes a Good Neighbor Policy and communicates this to all of their employees and customers to ensure a positive impact on the local government and a positive relationship with neighbors. Customers must agree to the GNP and Sundial Collective reserves the right to refuse service to individuals who do not abide by its rules. No onsite consumption shall be allowed, nor shall any person sell, possess, consume or store any alcoholic beverage on site. The GNP policy is as follows:

"Sundial Collective and its customers have a responsibility to be the best neighbors we can be. To ensure that our center is perceived as a good neighbor, please help us to be respectful and caring of our neighbors' rights, privacy, and property. We work hard to maintain a positive relationship with those in our community, including our neighbors, local stakeholders, and law enforcement. Be mindful that you are representing Sundial Collective as a member and that you are expected to adhere to our Good Neighbor Policy. We expect our members and staff to be courteous and respectful in their experiences with those in our neighborhood. It is important that we be considerate of those who live and work nearby. Please respect these relationships and avoid activities that could disturb others. Be mindful of where you park. Always turn down your music